

Historic Conservation Zone & Policy Areas

What is a Historic Conservation Zone?

A Historic Conservation Zone is an area comprised of various buildings and localities that together are worthy of retention for the enjoyment of present and future generations.

Why are there different Policy Areas?

The Historic (Conservation) Zone is split up into a number of Policy Areas, each of which relate to a particular area or street that exhibits a clearly identifiable and discernible historic character. This may be reflected in a pattern in the formation of allotments, buildings of a particular style or of a particular builder, and any number of other attributes.

As each area has individual attributes, the policies of the Development Plan vary between each Policy Area to ensure that those desirable elements of the area are retained. Each Policy Area features a Desired Character Statement that references the key elements of history and character that should be retained and reflected in any new development. Please refer to the relevant part of this document for further information relevant to each of the Policy Areas.

What are Contributory Items?

Contributory items are identified in the Development Plan and provide examples of older buildings within the Historic (Conservation) Zone which, as part of a collective group, contribute positively to the historic and architectural character of the area.

While recognised for their contribution to the area, contributory items (when assessed individually) may not meet the criteria to be recognised as a State or Local Heritage Place, so are not afforded a higher level of protection than any other property within the zone.

Can I operate a shop or office?

If your property has previously received approval for a non-residential use (and that use has continued), you can operate the property in the same manner without further approval. New development of a non-residential nature will consist only of alterations to these existing uses.

New shops, offices and a number of other non-residential uses are prescribed as non-complying forms of development within the Historic Conservation Zone, so are typically not supported, unless they are associated with supported accommodation.

Can I demolish my house?

A building within a Historic (Conservation) Zone should not be demolished in whole or in part, unless:

- It is structurally unsound, deemed unsafe and cannot be reasonably rehabilitated, according to a certified structural engineer; and
- The replacement development is compatible and complements the character of the policy area.

If demolition is considered to be necessary, then a demolition application must be lodged with Council for assessment. No works may be undertaken unless approval has been obtained.

What guidelines apply to new dwellings or additions?

Contextual

Development should maintain the desired character of streetscapes by providing a built form of similar height and scale, with proportions of solids and voids (walls and windows), façade details, materials and finishes that complement those used on nearby character buildings. Development should preserve and enhance streetscapes by incorporating fences and gates compatible with the period and style of the traditional built form, while limiting the number of crossovers.

Private Open Space

Each dwelling should be provided with private open space. The area should have a minimum dimension of 4 x 4 metres, be directly accessible from internal living areas, and not be visible from the street. If a verandah is proposed, it should not cover more than 20 percent of the required area and must be open on at least 2 sides.

Dwellings located within Policy Areas HC1, HC2, HC6, HC7, HC8, HC9, HC10 and HC11 should provide a minimum of 75 square metres private open space, or 25 square metres of private open space per bedroom or room able to be used as a bedroom, whichever is greater. Dwellings located within Policy Areas HC3, HC4 and HC5 should provide a minimum of 25 square metres per bedroom or room able to be used as a bedroom.



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Site Coverage

There is no mandated percentage of the allotment that should remain uncovered. However, the site coverage should be similar to that of surrounding development, and allow for the establishment of appropriate setbacks and the provision of private open space.

Front Setback

Each Policy Area has different setback requirements. However, it is desired that the front setback of a new house or dwelling addition match or complement that of the immediate locality. Generally, this is achieved by providing a front setback that is the average of the two adjacent dwellings. Alterations and additions should not occur at the front of a heritage place or contributory item unless it is for the purposes of reinstatement, restoration or maintenance of the existing built form.

Side and Rear Setbacks

Side setbacks should be similar to those of surrounding dwellings, particularly where the boundary is adjacent to a laneway or secondary street. Setbacks should otherwise be a minimum of 1m away from all other property boundaries, although a portion of the building may be built to the boundary where appropriate.



Image Source: Heritage Review 2010

Building Envelope

Buildings should be sited within a building envelope, which is determined by projecting planes at 45° from a height of 3.0m (3.5m for HC1) above natural ground level at the side, rear and front boundaries, to a maximum height of 9m or two storeys. Development built on the boundary may have the gables extend beyond the building envelope if there is no substantial impact on the adjoining property.

Upper storey additions to existing single-storey homes may be appropriate where such elements are a minor component of total floor space, confined to the rear of the building or located within the roof space, and established in a manner that minimises visual impact on historic streetscapes.

Carports and Garages

A carport or garage should not dominate the associated dwelling or streetscape. New garages or carports associated with a dwelling should be sited and designed to remain subordinate to (and not detract from) the appearance of the dwelling. The structure should be located behind the dwelling, and incorporate building materials that complement the associated dwelling.



Image Source: Heritage Review 2010

For further information:

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Historic Conservation Zone & Policy Areas

Fitzroy Terrace Policy Area HC1

What is special about this Policy Area?

The Fitzroy Terrace Policy Area demonstrates a range of historical themes that reflect the development of the City of Prospect. The residences constructed along Fitzroy Terrace reflect the stages of subdivision of this location, which occurred during the 1880s and the 1920s. They represent the houses of early Adelaide's professional and merchant classes.

The row of allotments that comprises the Fitzroy Terrace Policy Area is made up of two subdivisions. The western portion of this area was subdivided in 1882 into large allotments measuring from 150 to 200 feet in width, and up to 180 feet deep, and named Fitzroy. The eastern end of the Policy Area was subdivided later (in 1913) and named Thorngate. Both of these areas were owned by William and George Churcher at the time of their subdivision.

This policy area is characterised by housing stock of relatively homogeneous age, scale, form, roof pitch, style and condition, being a mix of mansions, "gentlemen's residences", villas and cottages from the early 20th century, together with some modern buildings, on relatively large allotments. The buildings are of bluestone, sandstone and brick walls, with a mix of roofing materials.

What is the desired character of the area?

The spacious streetscape character of Fitzroy Terrace is created by the large allotments and the range of equally large residences from the late nineteenth and early twentieth century. The character is created by existing housing stock on sizeable allotments with wide frontages and substantial gardens.

The houses are of one or two storeys, and display a range of design sources and a mix of construction materials. There is a homogeneity which derives from the size, scale and location of these places.

All houses identified as contributory remain intact and extensive, and have distinctive stylistic character. The existing historic fabric should be maintained and any new development should be complementary to this character.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 800 square metres and 20 metres to a public road.

Front Setback

All buildings should be setback 8 metres or the average of neighbouring dwelling setbacks from any street and at least 1 metre from all other boundaries.

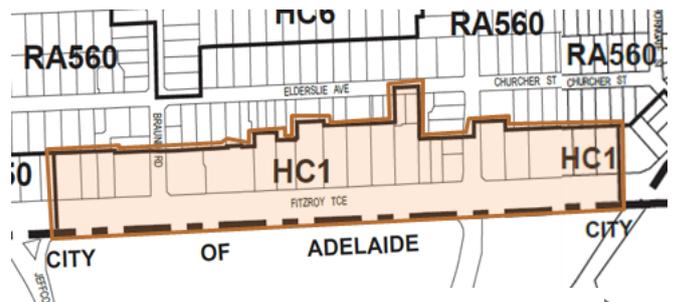


Image Source: Heritage Review 2010



Historic Conservation Zone & Policy Areas

Clifton Street Policy Area HC2

What is special about this Policy Area?

The Clifton Street H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect. The residences constructed along Clifton Street reflect the stages of subdivision of this location, during the 1880s and the 1890s. They represent a collection of consistent residential designs from the late nineteenth century, a period of intense building and development in Prospect. The closer subdivision of part of Section 373 on the south side of Clifton Street was undertaken in 1881. The first allotment of the subdivision was sold in June 1881 and most of the allotments were purchased before October 1881.

In 1882 the northern side of Clifton Street was subdivided and the allotments sold between May 1882 and April 1883. The western end of Clifton Street between Braund Road and Churchill Road was not subdivided until later and was known as 'Prospect View' when the allotments were sold during 1894-95. These allotments were somewhat larger than the subdivision of the eastern end of Clifton Street. The houses were constructed in groups of similar design by speculative builders

What is the desired character of the area?

The housing in Clifton Street displays a consistent extensive intact collection of residences from the 1880s and early 1890s in groupings which reflect the speculative development of the area. They are essentially single storey residences which take advantage of the sloping topography to the west with one notable exception of the two storey residence at 8 Clifton Street. The set-back and pattern of coverage creates a notable streetscape with vistas and views towards the west. The built form repeats typical scale, mass and detailing of the period including verandahs, cast iron or timber trim, hipped and gabled roofs, stone walls, front landscaped gardens (some with original masonry and iron fences) and some side access for vehicles. The existing historic fabric should be maintained and any new development should be complementary to this character.

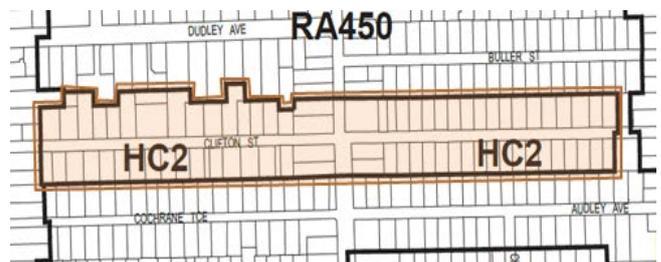
Can I subdivide my property?

The Development Plan prescribes minimum site areas and frontage widths that govern the division of land. Each dwelling should have a minimum site area of 560 square metres and a minimum frontage of 15 metres to a public road. Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 560 square metres and 15 metres to a public road.

Front Setback

All buildings should be setback 8 metres or the average of neighbouring dwelling setbacks from any street and at least 1 metre from all other boundaries.



Map: Extent of Policy Area HC2



Image Source: Heritage Review 2010

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Historic Conservation Zone & Policy Areas

Little Adelaide Policy Area HC3

What is special about the H3 Policy Area?

The Little Adelaide H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect.

It was first delineated as a village in 1839, and was associated with the Adelaide Mechanics Land Company which bought early sections of Prospect.

The earliest housing no longer remains and many of the houses within the village date from 1870s to 1890s. The village area also retains a church, (former) corner shops and other buildings typical of early village settlement. It is centred on the triangle created by Main North Road, Carter Street, Highbury Street and Argyle Street.

What is the desired character of the area?

The sub division pattern and housing in Little Adelaide displays an early form of narrow allotments of varying widths and single fronted and attached cottages, many of which are intact and well maintained.

The character created by closely spaced early small dwellings and narrow streets is in strong contrast to other historic areas of City of Prospect, particularly the contiguous Fitzroy Terrace policy area.

The existing historic fabric (including original front fences) and village character of Little Adelaide should be maintained and any new development should be complementary to this character.

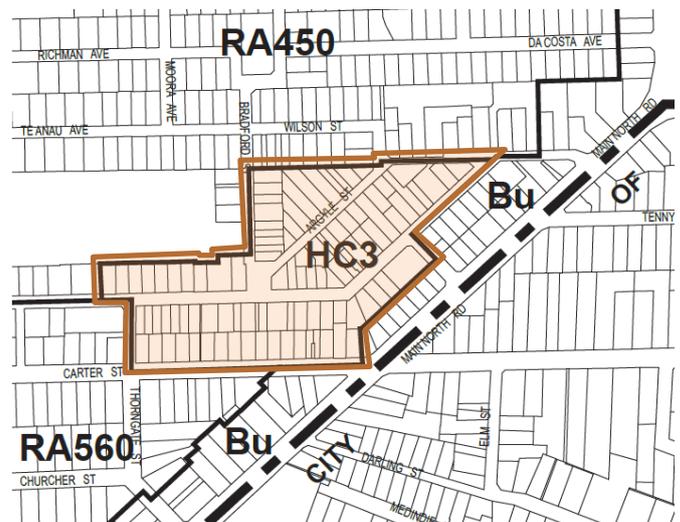
It is desired that new carports, garages and outbuildings will be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.

Can I subdivide my property?

The Development Plan prescribes minimum site areas that govern the division of land. Each dwelling should have a minimum site area of 350 square metres with narrow frontages.

Setbacks

New buildings and extensions should be located to the rear of existing dwellings and should not impact on the street.



Map: Extent of Policy Area HC3



Image Source: Heritage Review 2010



Historic Conservation Zone & Policy Areas

Whinham Street Policy Area HC4

What is special about the H4 Policy Area?

The Whinham Street H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect.

The allotments in Whinham Street were subdivided in 1894 as Deposited Plan 1522 and the 28 allotments were purchased by Walter and Albert Were of the Were family building firm in Torrensville. Houses were built and sold during 1895-6 and the street was fully developed by 1897.

With its identical substantial houses facing each other across the length of the street, this policy area is representative of the late nineteenth century residential consolidation of Prospect.

What is the desired character of the area?

The housing in Whinham Street displays a consistent extensive intact collection of residences from the 1890s, reflecting the speculative development of the area. They are essentially single storey residences which take advantage of the sloping topography to the west. The set-back and pattern of coverage creates a notable streetscape with vistas and views towards the west. The built form repeats typical scale, mass and detailing of the period including verandahs, cast iron or timber trim, hipped and gabled roofs, stone walls, front landscaped gardens (some with original masonry and iron fences). The existing historic fabric (including original front fences) should be maintained and any new development should be complementary to this character.

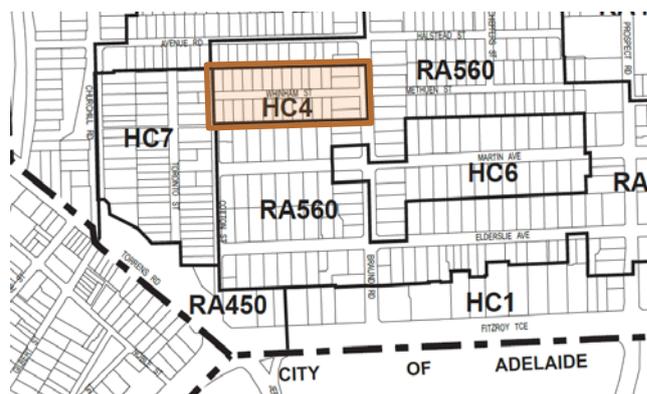
Additions should only occur at the rear or side dwellings. No alterations or additions will occur at the front of a heritage place or contributory item unless it is for the purposes of restoration or maintenance, such as the reinstatement of a front verandah. The size, location trim and materials of the original fenestrations in the external walls of dwellings, particularly along the front elevations, will not be altered. It is desired that new carports, garages and outbuildings be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 560 square metres and 15 metres to a public road.

Setbacks

New buildings and extensions should be located to the rear of existing dwellings and should not impact on the street.



Map: Extent of Policy Area HC4



Image Source: Heritage Review 2010

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Flora Terrace

Policy Area HC5

What is special about the H5 Policy Area?

The Flora Terrace H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect.

It incorporates sections of three subdivisions – part of the Oxford subdivision of 1892, on the south side of the Terrace; part of St John's Wood South Subdivision in 1909, on the north side of the Terrace; and part of a 1923 further subdivision of the eastern end adjacent to the Memorial Gardens.

The area has played an important part in the lives of local residents as a focus of commemoration of war service and also important sporting events.

What is the desired character of the area?

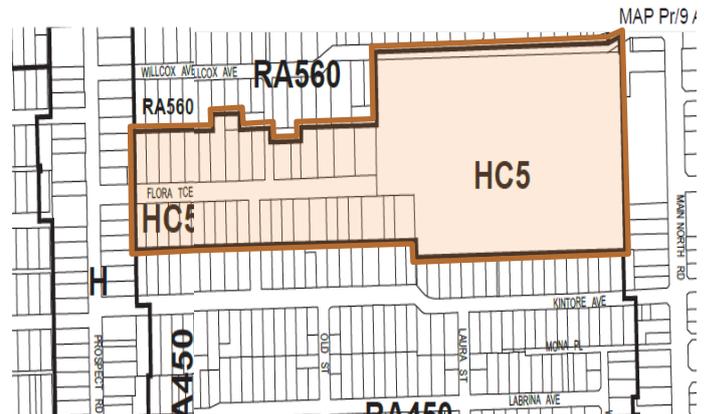
The policy area incorporating Flora Terrace displays both residential and civic character as it includes the Soldiers Memorial Gardens and Prospect Oval as well as significant housing dating from 1892 to the 1920s. Flora Terrace serves as the conduit for the strong visual link between the Town Hall on Prospect Road and the Memorial Gates to Prospect Oval. Houses display style, form and detail of the relevant periods of historic development – 1892 to the 1920s – and retain face stone and brick walls, corrugated iron or terra cotta tiled roofs and substantial front garden areas in a regular subdivision pattern.

The existing historic fabric of the houses and the Memorials should be maintained and any new development should be complementary to this character.

Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 560 square metres and 15 metres to a public road.



Map: Extent of Policy Area HC5



Image Source: Heritage Review 2010



Historic Conservation Zone & Policy Areas

Martin Avenue Policy Area HC6

What is special about the H6 Policy Area?

The Martin Avenue H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect. This land was part of that owned by William and George Churcher and subdivided by them in 1923, along with other parts of Fitzroy, Thorngate and Medindie Gardens. These allotments were all sold between 1923 and 1928, and the houses constructed reflect the residential styles in the Inter War period and consolidation of development on the sections closest to the Park Lands through further subdivision.

What is the desired character of the area?

The housing in Martin Avenue and Braund Road displays a consistency that derives from the period of subdivision of the area, and the large, well designed residences are a grouping of similar large scale, location and condition, reflecting Prospect's development in the Inter War period. These substantial residences on large allotments display face stone and brick walls, terra cotta tiled roofs, regular broad setbacks, large front gardens and side access driveways. The existing historic fabric should be maintained and any new development should be complementary to this character.

Alterations to the front of a heritage place or contributory item will only occur for the purposes of restoration or maintenance. The retention of original finishes and detailing, and the use of appropriate colour schemes, are important objectives for this Policy Area. Fences should comprise a low masonry plinth with regularly spaced columns and iron above to a medium height. Landscaping around a dwelling, particularly in the front garden, is an important design element in this Policy Area as it enhances the dwelling and adds to the appearance and quality of the streetscape. Both new and existing dwellings will incorporate an appropriate garden setting. Street trees and grassed verges are also part of the character of the area.

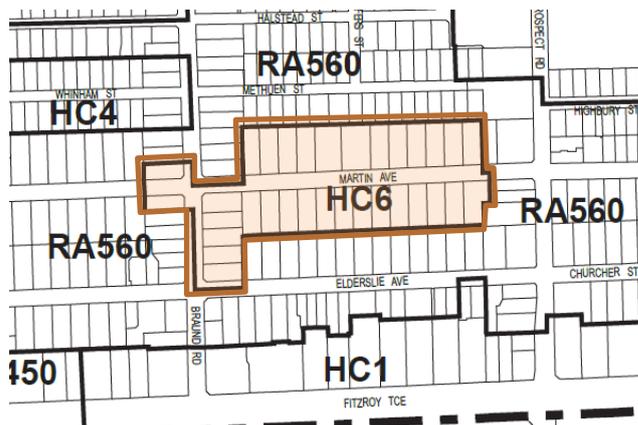
Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 560 square metres and 15 metres to a public road.

Front Setback

All buildings should be setback 8 metres or the average of neighbouring dwelling setbacks from any street and at least 1 metre from all other boundaries.



Map: Extent of Policy Area HC6



Image Source: Heritage Review 2010

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Historic Conservation Zone & Policy Areas

North Ovingham Policy Area HC7

What is special about the H7 Policy Area?

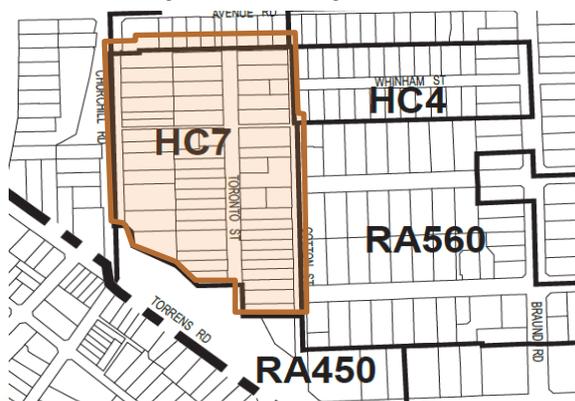
The proposed North Ovingham H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect. It was subdivided in 1877-8 and is characterised by narrow allotments on the southern section of Toronto Street and larger allotments along the frontage of Churchill Road. Many of the lots were first owned by James Trevail, a builder, who constructed the houses by 1881. The area represents one of the earliest remaining housing groups in the Council area.

Can I subdivide my property?

The Development Plan prescribes minimum site areas that govern the division of land. Each dwelling should have a minimum site area of 450 square metres with a minimum frontage of 12 metres to a public road.



Image Source: Heritage Review 2010



Map: Extent of Policy Area HC7

What is the desired character of the area?

The housing in North Ovingham displays a consistency of form, detailing and materials which is integral to its character. The topography required the use of stone walls and steps to face stone and brick houses and attached cottages, with verandahs, corrugated iron roofs and front gardens. The existing historic fabric should be maintained and any new development should be complementary to this character.

Similar scale, setbacks and roof forms should be reinforced in any new development, and the intimate qualities of this small residential pocket retained.

A key priority for the area's character will be the maintenance of original design features where possible. Small symmetrically fronted or attached stone houses remain in Toronto Street and larger examples of similar style fronting Churchill Road.

Any replacement of detached dwellings should be with the same. Maintenance of stone walls and steps facing stone and brick houses and attached cottages with verandahs, corrugated iron roofs and front gardens should be a priority.

Additions to dwellings should be similar in scale to the original building. It is desired that any addition(s) follow the roof form of the original dwelling and retain the scale of the original section of the building.

Fencing should complement the design of the dwelling and enable the dwelling to address the street. Preference will be given to low fencing rather than high solid masonry walls to assist in maintaining the character of mature gardens which spill onto the street, creating a pleasant green streetscape for the area.

Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.



Historic Conservation Zone & Policy Areas

Prospect Lanes Policy Area HC8

What is special about the H8 Policy Area?

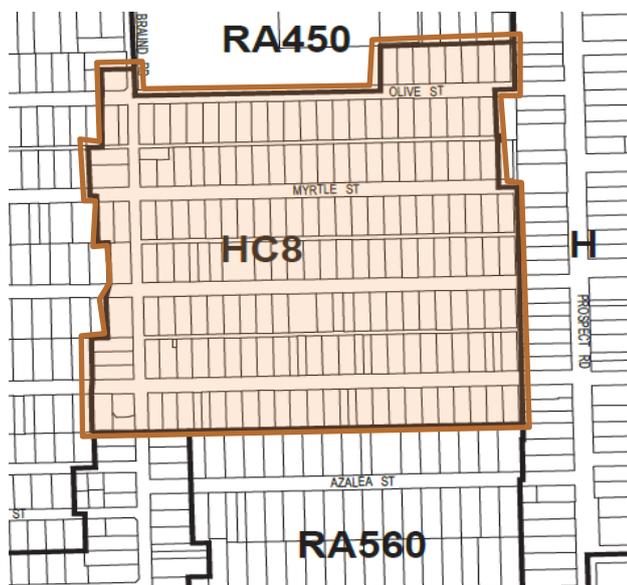
The proposed Prospect Lanes Historic (Conservation) Policy Area demonstrates a range of historical themes which illustrate the development of Prospect.

It reflects the development of substantial residential areas in the City of Prospect during the 1880s with these subdivisions of 1879, and the popularity of constructing houses high on the hill above the lower ground close to Churchill Road.

The consistency of the subdivision from the 1880s-1900s is greatest closer to Prospect Road and Prospect West also contains consistent and similar housing.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 450 square metres and 12 metres to a public road.



Map: Extent of Policy Area HC8

What is the desired character of the area?

The housing in the Prospect Lanes area displays a consistency of character reflecting the styles of domestic architecture at the turn of the century. These houses incorporate concave or bull-nosed verandahs and other typical detail, with generally face stone front walls with brick or rendered quoining and window and door dressings. These houses sit on allotments on the high ground west of Prospect Road, in streets with mature street trees. The existing historic fabric should be maintained and any new development should be complementary to this character. The lanes which link the blocks are a distinctive quality in this area and should be maintained and remain accessible.

This policy area will predominantly contain low density residential development, with detached dwellings on allotments that are medium in width. Opportunities for semi-detached dwellings and other housing types may be permissible, provided that they are designed and located in accordance with the desired character and policy requirements for the area.

Garaging for vehicles is envisaged from the rear lane and associated with privacy rear yard fencing. Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.



Image Source: Heritage Review 2010

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Historic Conservation Zone & Policy Areas

Highbury Policy Area HC9

What is special about the H9 Policy Area?

The proposed Highbury H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of City of Prospect.

It reflects the development of substantial residential areas in Prospect during the 1880s with this subdivision of 1882, and the popularity of constructing houses high on the hill above the lower ground west to Churchill Road.

The consistency of the subdivision from the 1880s-1900s is greatest closer to Prospect Road and later housing can be seen to the west.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 450 square metres and 12 metres to a public road.



Image Source: Heritage Review 2010

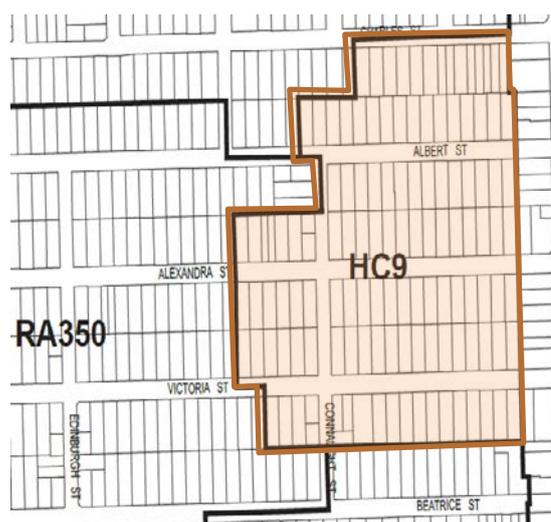
What is the desired character of the area?

The housing in Highbury displays a consistency of character reflecting the styles of domestic architecture at the turn of the century.

These houses incorporate bull-nosed verandahs and other typical detail, with generally face stone front walls with brick quoining, and there are some examples of face brick houses from the same period. These houses sit on allotments on the high ground west of Prospect Road, in streets with mature street trees. The existing historic fabric should be maintained and any new development should be complementary to this character.

New development should be consistent in size, scale and bulk with those original dwellings. Building setbacks should be complementary to the boundary setbacks of older dwellings in the Policy Area, providing opportunity for landscaping.

Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape. Front fences should be low to maintain visibility of features that contribute to the character.



Map: Extent of Policy Area HC9



Historic Conservation Zone & Policy Areas

Ballville / Gloucester Policy Area HC10

What is special about the H10 Policy Area?

The proposed Ballville/Gloucester Streets Historic (Conservation) Policy Area demonstrates a range of historical themes which illustrate the development of the City of Prospect. It reflects the development of residential areas east of Prospect Road during the 1880s with these subdivisions of 1879, and the growth of the suburb.



Image Source: Heritage Review 2010

What is the desired character of the area?

The housing in the Ballville/Gloucester Streets area displays a consistency of character reflecting the styles of domestic architecture at the turn of the century.

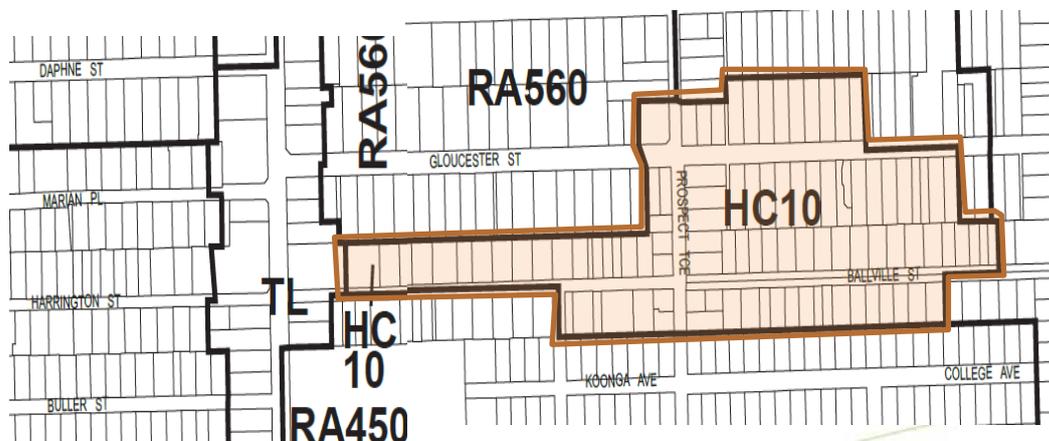
These houses incorporate concave or bull-nosed verandahs and other typical detail, with generally face stone front walls with brick or rendered quoining and window and door dressings. These houses sit on consistently sized allotments in streets with mature street trees. It is envisaged that new development will retain the predominant single storey built form.

The existing historic fabric should be maintained and any new development should be complementary to this character.

Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 450 square metres and 12 metres to a public road.



Map: Extent of Policy Area HC10

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Historic Conservation Zone & Policy Areas

Medindie Gardens Policy Area HC11

What is special about the H11 Policy Area?

The proposed Medindie Gardens H(C)Z Policy Area demonstrates a range of historical themes which illustrate the development of City of Prospect.

This compact suburb which essentially incorporates two streets and a frontage to Nottage Terrace was subdivided in 1922 by W Scott Griffiths, who was the State Town Planer to follow Charles Reade, and is indicative of town planning theories of the time.

The layout of the rectangular subdivision between Main North Road and Derlanger Terrace is in regular allotments. The blocks were sold and houses built within a short period of time, well before 1930.

Can I subdivide my property?

Subdivision and amalgamation of allotments is appropriate where it reinforces the original subdivision pattern. Minimum site areas and allotment widths are the same for all types of dwellings, at 560 square metres and 15 metres to a public road.



Image Source: Heritage Review 2010

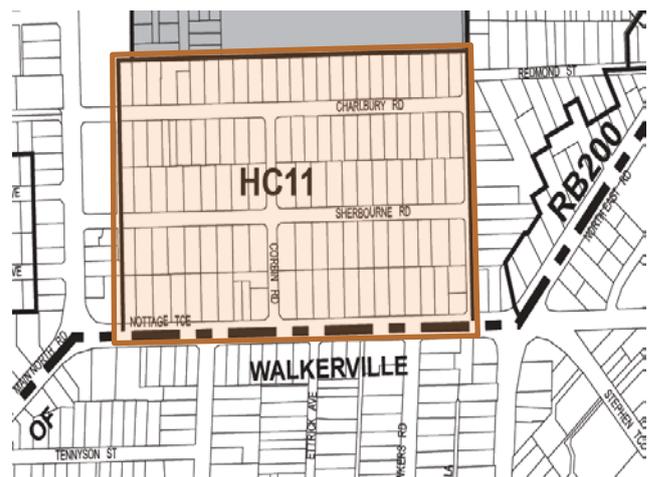
What is the desired character of the area?

It is expected that the established character of large detached dwellings on spacious allotments, well setback from all allotment boundaries, will be maintained in the development and siting of new detached dwellings and in association with alterations and additions to existing dwellings.

Where a new dwelling is constructed alongside or within a group of older style residential buildings, the new dwelling will be of a similar height, scale and proportions and be constructed of materials that complement and reinforce the character and design elements of existing buildings.

Additions to dwellings will generally be single storey, although two storey additions may be appropriate where such elements are confined to the rear of a building or within the roof space where there is minimal visual impact on the historic streetscapes.

Carports, garages and outbuildings should be carefully designed and sited to ensure that they remain subordinate to and do not detract from the appearance of the dwelling from the primary streetscape.



Map: Extent of Policy Area HC11

