

AGENDA ITEM: 5.5

To: Development Assessment Panel (DAP) on 14 November 2016

From: Robert Veitch, Consultant Planner

Proposal: Four Storey Residential Flat Building Comprising 12 Dwellings with associated Car Parking (DA 050/341/2016)

Address: 9 Allan Street, Prospect (CT 6169/714)

SUMMARY:

Applicant: Yianni Moschou

Owner: Mosbank PL

Planning Authority: Council

Mandatory Referrals: Nil

Internal Referrals: Marchese Partners International PL
Infrastructure, Assets and Environment Department

Public Notification: Category 1

Representations: Not applicable

Respondent: Not applicable

Development Plan Version: Consolidated 21 April 2016

Zone and Policy Area: Urban Corridor Zone (Boulevard Policy Area)

Issues: Visitor Parking, Stormwater Management, Visual Privacy

Recommendation: Approval, Subject to conditions

ATTACHMENTS:

Attachment 1 Development Application Form

Attachments 2-3 Locality Plans

Attachments 4-5 Photos of site

Attachments 6-21 Proposal Plans

Attachments 22-28 Design Review Comments Prepared by Jenny Newman

Attachments 29-32 Response to Design Review

Attachments 33-47 Superseded plans

1. EXECUTIVE SUMMARY

- 1.1 The proposal is for a four storey residential flat building, comprising ground floor parking and commercial tenancy, as well as three levels of four dwellings each at 9 Allan Street Prospect. The building would comprise 6 x two bedroom/two bathroom dwellings and 6 x two bedroom/one bathroom dwellings, with 14 associated car parking spaces and 4 bicycle parks.
- 1.2 The proposal did not require public notification or referral to any other agency. A review of the design by an independent architect concluded that the proposal is a well-considered design response to providing medium/high density housing in the Urban Corridor Zone (UCZ). The assessment that follows explores several design concerns raised in the design review and the applicant's response to same.
- 1.3 The proposal provides suitable occupant amenity and private open space, a high level of visual interest and responds well to concerns relating to its scale. Car and bicycle parking would be appropriately catered for on-site, while overlooking and overshadowing impacts would be addressed suitably in the context of the zone. The proposal therefore warrants development plan consent.

2. LOCALITY AND SUBJECT LAND

2.1 Locality

- 2.1.1 The locality is predominantly residential in nature, although features several commercial land uses including shops, offices and a gym. George Whittle Reserve is located to the south east, Sunshine Deli Snack Bar to the east at 58 Churchill Road and a railway corridor to the west of the subject land.
- 2.1.2 Residential development within the area features a mix of original, low density dwellings and newer medium density dwellings of two storey construction. A passenger and freight railway line parallel to Devonport Terrace is separated from the subject site by a mixture of single and two storey dwellings of low to medium overall density.
- 2.1.3 In regard to the closest public transport access points, bus stops 8A exist to both sides of Churchill Road adjacent George Whittle Reserve, which represents a 100m path of travel to the southeast from the subject land. It is noted that the nearest train station to the subject site, the Ovingham Railway Station, is approximately 400m away to the south.
- 2.1.4 It is noted that a four storey residential flat building has recently been completed on the corner of Churchill Road and 2 Allan Street, while the Development Assessment Panel approved a four storey residential flat building at 8 Allan Street at its meeting on 11 May 2015. Adjacent to the site two x three-storey residential flat buildings at 3-7 Allan Street were approved following variations on 19 October 2016. The locality therefore is very much in transition.
- 2.1.5 The broader locality, indicating the location of the subject land within the relevant Zone and Policy Area as described in Council's Development Plan is described in **Attachment 2**.

2.2 Subject Land

- 2.2.1 The subject land comprises one allotment with a frontage to Allan Street of 17.68m, average depth of 35.56m, with a total area of approximately 629m². It is located near the intersection of Allan Street and Devonport Terrace, is less than

20m west of George Whittle Reserve and is approximately 80 metres west of Churchill Road. The site has a gentle, though largely negligible, slope from the south-east corner to the north-west corner. The site is set down from adjoining properties to the east, with existing concrete plinth retaining walls.

- 2.2.2 The site currently accommodates a detached dwelling fronting Allan Street and ancillary outbuildings to the side and rear. Existing vegetation in the form of medium height, semi-mature plantings is present to the front and rear of 9 Allan Street. No regulated trees exist on the subject land or within close proximity on adjoining allotments, with the nearest regulated tree on George Whittle Reserve being greater than 10m from the south-eastern corner of the site.
- 2.2.3 A street tree adjacent to the subject land is located approximately in the centre of the street frontage. A stobie pole is located adjacent the north-west corner of the subject land, with low voltage overhead powerlines running above the footpath.
- 2.2.4 The subject land is illustrated on **Attachment 3**. Photographs of the subject land and nearby properties are also included (refer **Attachments 4-5**).

3. PROPOSAL

- 3.1 The applicant proposes the demolition of the existing single storey dwelling and the construction of a four storey residential flat building, comprising 14 ground floor car parking spaces and commercial tenancy, as well as three levels of four dwellings on each floor.
- 3.2 Each of the three floors of the residential flat building contains 2 x two bedroom/two bathroom dwellings and 2 x two bedroom/one bathroom dwellings.
- 3.3 A new crossover would be created, resulting in the necessary removal and replacement of an existing street tree, with the existing crossover to the western side of the site returned to kerb and gutter. Side and rear boundaries would incorporate fencing of colourbond construction, with a combination of landscaping of varying heights and several ramps to the Allan Street frontage.
- 3.4 No other works are proposed. The proposal plans, prepared by the applicant AGC Projects, are attached (refer **Attachments 6-21**).

4. REFERRALS

4.1 Internal (Advisory) Referrals

- 4.1.1 An emphasis on high quality building and landscape design, with consideration of urban design principles is a fundamental component of any new development within the Urban Corridor. Accordingly, the proposal was referred to Ms Jenny Newman of Marchese Partners International for informal design review in accordance with Council's Design Review Process for Higher Density Development (refer **Attachments 22-28**).
- 4.1.2 While the design review stated that the proposal is a well-considered design response to providing medium/high density housing in the UCZ, the following comments were provided:
- The proposal would benefit from an increased front setback to all floors with side walls not extending beyond the external north and south walls
 - A reduction in the overall building height by reducing the floor to roof height of the upper level

- Address the lack of northern orientation to half of the apartments
- Increase the amount of soft landscaping, balcony width, clothes drying (to communal space or within dwellings, other than to balconies)
- Substituting Scyon axon cladding with timber look aluminium cladding
- Consider future adaptability, flexibility and sustainability
- Provide high lighting levels in the parking and resident lobby areas, incorporating an exit from the residents lobby to the car park, and spy holes or glazed sidelights/vision panels to apartment front doors.

4.1.3 While generally in agreement with the design review, some of the applicant's alternate response to higher density development within the Boulevard Policy Area (BPA) limits the ability of comparison to existing or currently approved buildings. The applicant responded as follows:

- Current building setbacks are either equal to or greater than those sought in Principles of Development Control (PDC) 16 – 18 of the UCZ. The side blade walls are setback progressively to expose the balconies to assist in reducing the perceived bulk
- Reduced the floor to roof height by 200mm, bringing the overall height below the 15m maximum prescribed in PDC 13 UCZ
- Awnings have been added for articulation, to reflect northern light into the living areas, and fabricated in powder coated metal to achieve minimum emissivity rating of 0.2 to reflect 80% of the light back through the opening
- Balconies are typically over 11m² minimum area which meets CW PDC 152 for a two bedroom apartment, tables and chairs now indicated on the plans, and clothes drying can be screened behind the planter boxes. 20m² - 26m² internal living areas and their orientation allow enough room for sofas and a dining table. Ground floor and lobby storage is provided for each dwelling, to assist amenity of internal apartment spaces
- Scyon is a better material, has the same texture and undulation that timber has, but it is not as flat as aluminium. The paint system used will be similar to timber, *Sikkens* or similar stain in 'dark walnut' with a clear weather resistant finish, which will be sound for 10 years, after which it can be repainted. Aluminium cannot be repainted, it can only be removed and reapplied
- The developer intends to provide solar supported power to all public areas, and provide 1.2kW solar power systems as an option for early buyers. Roof stormwater will be used to irrigate all planter boxes and landscaping
- An exit from the residents lobby to the car park has been included.

4.1.4 While the crossover, street tree(s) and associated alterations to the Council verge area do not directly form a part of this application, comment was sought from Council's Infrastructure, Assets and Environment Department in relation to the proposal. Council's Infrastructure and Assets Officer has recommended that appropriate conditions be imposed guiding the future application to the Infrastructure, Assets and Environment Department pursuant to Section 221 of the *Local Government Act 1999*.

4.1.5 It is also noted that Council's Infrastructure and Assets Officer supported the proposed two-way movement of vehicles to and from the site and the location of central access point. This would be subject to the removal of the street tree, replacement of two new street trees each side of the proposed vehicle ramp and removal of the existing crossover and reinstatement of kerb and watertable; at the expense of the applicant. Conditions and advisory notes are recommended which enshrine this process and draw relevant responsibility to the attention of the applicant.

4.2 External (Legislated) Referrals

4.2.1 No consultation with agencies was required.

5. PUBLIC NOTIFICATION

5.1 The application is a Category 1 form of development pursuant to Section 38 of the *Development Act 1993*, Schedule 9 of the *Development Regulations 2008* and Urban Corridor Zone PDC 24.

5.2 A residential flat building is a Category 1 development unless it is located on land adjacent to the Residential Zone or Historic (Conservation) Zone, it would be three or more storeys (or 11.5 metres or more in height) and if it exceeds the 'Building Envelope - Interface Height Provisions'. It is noted that office uses within the zone are also a Category 1 form of development (UCZ PDC 24).

5.3 The subject land is not located adjacent either the Residential Zone or the Historic (Conservation) Zone (refer **Attachment 2**).

6. PLANNING COMMENTARY

6.1 The application involves building work and therefore an application to Council is required. The proposal is neither a complying nor a non-complying development with reference to Principles of Development Control 22 and 23 of the UCZ and is therefore to be considered on its merits against the relevant provisions of Council's Development Plan.

6.2 Pursuant to Section 35(2) of the *Development Act 1993*, a development that is assessed by the Council as being seriously at variance with the Development Plan must not be granted consent. To this end, the Panel must determine whether the proposal is seriously at variance with the Development Plan prior to making a decision on the application.

7. PLANNING ASSESSMENT

7.1 Land Use

7.1.1 It is anticipated that development within the UCZ would enable a high quality mixed use urban environment that contributes to the economic vitality of the City of Prospect by increasing the density of housing, as well as the number and the diversity of businesses and other services offered to residents and the wider community. (UCZ Desired Character Statement)

7.1.2 The above is reiterated by the following Objectives of the UCZ:

Objective 1: *A mixed use zone accommodating a range of compatible non-residential and medium and high density residential land uses orientated towards a high frequency public transport corridor.*

Objective 2: *Integrated, mixed use, medium and high rise buildings with ground floor uses that create active and vibrant streets with residential and commercial development above.*

Objective 3: *A mix of land uses that enable people to work, shop and access a range of services close to home.*

7.1.3 Furthermore PDC 1 of the zone outlines the types of development, or a combination thereof, which are envisaged within the Zone. A Residential flat building and Office are types of development listed, therefore the proposal (which provides a mix) is considered to be an appropriate type of development.

7.2 Site Density

7.2.1 The Boulevard Policy Area anticipates medium and high density housing. This would primarily be in the form of apartment and terrace style dwellings along with mixed-use buildings to accommodate a diversity of dwelling types within the precinct. In order to achieve this, the minimum residential site density for residential development within the BPA is 100 dwellings per hectare net, unless varied by a Concept Plan (UCZ PDC 5).

7.2.2 The subject site which has an area of 629m² is not identified within a Concept Plan. Therefore the minimum net residential site density would be achieved through the provision of 7 dwellings. The proposal is for 12 dwellings within the residential flat building or 190 dwellings per hectare net and therefore satisfies the desired minimum density outcome in an area that does not impose a maximum density.

7.3 Site Access

7.3.1 Development should minimise the number of access points onto an arterial road by providing vehicle access from side streets or rear access ways or via co-ordinated through-property access rights of way or common rear vehicle parking areas (UCZ PDC 11). It is anticipated that vehicle access from side streets to new developments be located and designed to minimise the impacts of headlight glare and noise on nearby residents and avoid excessive traffic flows into residential streets (UCZ PDC 12).

7.3.2 Vehicular access to the site is proposed to be entirely from Allan Street via one double crossover. The existing single crossover to the western side of the subject land, would be reinstated to kerb and watertable by the applicant. All dwellings would have a single car parking space, with shared visitor parking provided to the ground floor level and on-street each side of the new central crossover. The existing street tree to Allan Street would need to be removed to allow for the double width crossover. The costs associated with the street tree removal would borne by the developer, subject to further application with Council's Infrastructure and Assets department, through the usual process with the location of the crossover.

7.3.3 A vehicular crossover must be a minimum of 6 metres from the tangent point of any intersection, to satisfy the relevant Australian Standard. The proposed double crossover would be approximately 25m from the Devonport Terrace tangent point. With the proposed crossover opposite 10 and 10A Allan Street to the north, the impact of increased headlight glare is anticipated to be minimal.

7.3.4 In terms of the access location the proposal would achieve the relevant provisions of Council's Development Plan. Consequential traffic movements are considered further in section 7.11 of this report.

7.4 Site Preparation and Stormwater Management

7.4.1 Residential allotments should have an orientation, size and dimensions that will facilitate the siting of dwellings to protect natural or cultural features and minimise the need for earthworks and retaining walls (CW PDC 18). The Development Plan calls for site drainage to be designed to safely direct surplus flows to a public

street without causing harm to adjoining properties and that all proposed developments should be designed to retain as much stormwater as possible, minimising the overflow to the kerb and water table (CW PDC 97 and 98).

- 7.4.2 The subject site slopes slightly, generally from east to west. Site levels range between 13.50 in the south-east corner, 13.20 in the south-west corner, 13.35 in the north-east corner and 13.15 in the north-west corner. Therefore there is a 350mm fall from south-east to north-west.
- 7.4.3 The applicant has provided finished floor level details and a basic stormwater management plan. The finished floor level (FFL) of the ground floor car park has been designed in accordance with the minimal slope of the land, being 180mm above the highest point of the water table adjacent the north east corner of the subject land. The proposed FFL of the commercial tenancy at 13.50 would be 380mm above the water table adjacent.
- 7.4.4 The substantial footprint of the building will result in the majority of stormwater being captured via the roof. This would be directed to underground tank(s) of appropriate capacity, with the final number and location as determined by a detailed stormwater management plan to follow. In the applicant's response to the Design Review, the tanks were incorrectly stated as being on the ground floor level of the car park. Captured rainwater would be re-used to irrigate landscaping at ground level and all planter boxes to each level. The proposed overflow from the site would need to be connected to Council's stormwater system.
- 7.4.5 Modelling undertaken by Council suggests that during 1 in 100 year (ARI) flood events, the subject site may experience flooding up to 140-200mm above existing natural ground level. The adjacent eastern site is anticipated to experience less severity of flooding in a 1 in 100 year event (ie up to 100mm), and the western and southern sites are predicted to see a greater level (ie up to 300mm). Thus any redevelopment of those sites would also require build-up to appropriately mitigate this risk.
- 7.4.6 The current dwelling on the subject land has a FFL of 13.44 and as such, the proposed FFL of 13.40 would be lower than that of the existing dwelling. As desired by Council's engineers, the FFL should provide 150mm minimum above flood level. The proposed FFL would not achieve this.
- 7.4.7 The recently approved residential flat building east of the site would have a retaining wall to a maximum height of 300mm above natural ground level to the common boundary, in the southeast corner. Along this common boundary the height of the proposed retaining wall is now predominantly 200mm.
- 7.4.8 In conjunction with the adjoining proposal, 150mm in depth would need to be added to the base of the 200/300mm high boundary retaining wall to the eastern boundary, for excavation proposed in the southeast corner of the subject land. This would equate to a 450mm maximum height retaining wall to the base of proposed boundary fencing. Portions of the southern boundary would be similar, with up to 300mm high required to portions of the western boundary, to retain soil following filling (and excavation) of the site.
- 7.4.9 The proposal would result in an increase in stormwater run-off from the subject land and the ground floor levels may need to be increased slightly. It is therefore appropriate that Council receive and assess a detailed stormwater management plan. To this end, it is recommended that the consideration of the stormwater design be reserved for further assessment and approval by Council.

7.5 Design and Appearance

- 7.5.1 It is anticipated that development would achieve a high standard of architectural design through careful building articulation and fenestration to all visible sides. Building facades should involve the careful use of a diversity of building materials to create a high quality building appearance (UCZ Desired Character).
- 7.5.2 The proposal responds positively to commentary within the relevant desired character statements which establishes a desire for a strong vertical rhythm, and an articulated building form that accentuates the building's functions and emphasises the base, middle and top of buildings. A 4m high recycled brick 'plinth' to the main building and glazing to the commercial tenancy and pedestrian entry to Allan Street, provide a clearly defined building base. Along with the landscaping, ground level activity would be supported.
- 7.5.3 From the first level facing Churchill Road, a combination of recycled brick, glazing and expanded metal mesh screen and roller grill to the car park entry would also provide satisfactory fenestration and articulation. Through the design review process, Ms Newman noted several concerns (refer 4.1.2 above). These were raised with the applicant and while they elected to keep the majority of the design and appearance the same, their response with several variations in materials and finishes would assist in minimising these concerns (refer 4.1.3).
- 7.5.4 Glazing behind powder coated metal awnings and white powder coated shading devices assist in the articulation of the east and west elevations, when combined with the Scyon Axon cladding and set-in precast clearstory wall at top and central section with roll-on texture coat. Balconies, glazing, vertical green walling and Scyon panel to the north and south elevations achieve the same. Lighting levels have not been increased to parking or resident lobby areas and spy holes or glazed sidelights/vision panels to apartment front doors were not added by the applicant, in response to the design review. Such design changes form part of the recommended conditions of consent.
- 7.5.5 The external walls would not incorporate highly reflective materials which will result in glare to neighbouring properties, drivers or cyclists. It is considered that the material selections meet the requirements of the relevant policy provisions (principally derived from UCZ PDC 8 and UCZ BPA Desired Character Statement).
- 7.5.6 The undercroft car park is predominantly open to the side and rear boundaries, above a 2.1 m high colorbond boundary fence. A 3.5m high x 16.5m long precast concrete wall with vertical broom finish and roll-on texture coat is proposed to the front half of the eastern boundary, adjacent the Residents Lobby.
- 7.5.7 The proposed development is for a four storey building, with dual pitch roof and central box gutter. The building would be 14.9m in total height to the north elevation (Allan Street) and south elevation. The ground floor level would be approximately at the same level as the adjacent footpath to Allen Street.
- 7.5.8 In considering the appropriateness (or otherwise) of boundary wall heights, it is noted that the South Australia Planning Policy Library (from which the policy provisions of the UCZ were drawn), sets out the relationship between building heights as measured in storeys and in metres. It is also apparent that the Prospect Development Plan contains a local variation by which the corresponding building height is decreased by 0.5m per storey.
- 7.5.9 When read together, these provisions express a desire that boundary walls be no greater than two storeys, or 8 metres, in height above natural ground level. The

proposed boundary wall would be 3.5 metres in height above natural ground level (up to 4m at the front only), which is well under the maximum height anticipated.

- 7.5.10 The proposal provides private balconies to all three levels facing north to the public realm of Allan Street and south to the rear yard of 53 Devonport Terrace. They have been integrated into the form and design of the building in accordance with Council-wide PDC 135. The dwellings would be accessed via internal stairs and lift located towards the centre of the site adjacent the eastern boundary and vehicle parking areas to the ground floor.
- 7.5.11 Internal modulation of facades is principally achieved through balcony protrusion and substantial sliding glass doors and windows to the north and south elevations. Glazing behind metal awnings, Scyon Axon cladding, set-in precast top and central walls, and side blade walls setback progressively to each floor achieve the same to the east and west elevations. The design balances visual privacy and light/ventilation entry between the buildings in a satisfactory manner. This would remain so between future neighbouring development proposals.
- 7.5.12 The design would provide satisfactory articulation and a variety of material finishes to the public realm, while the contemporary finish to Allan Street ensures appropriate levels of internal amenity. While the building form would increase the scale of development to Allan Street, it is considered appropriate within the policy area. The advice of the design review has also been considered, and it is concluded that the architectural features of the proposed building would provide an appropriate level of visual interest and a high quality built form.

7.6 Setbacks

- 7.6.1 Within the BPA, the minimum setback from the primary road is 3m unless varied by a Concept Plan (UCZ PDC 16) and a minimum rear setback of 3m applies (UCZ PDC 18). For allotments with a frontage width of 20 metres or less, there is no minimum setback for the first 2 levels of a building from a side boundary when adjoining another allotment and a minimum 2m setback is required for all levels above this height (UCZ PDC 18).
- 7.6.2 The building would be setback 3m from the property's street frontage providing a suitable area of landscaping forward of the building, predominantly to the common garden in front of the commercial tenancy.
- 7.6.3 It is noted that while the undercroft car park would be built to the rear boundary on ground, it would be open above with the first floor set back 3m and 2.1m high colorbond boundary fence. The minimum rear setback at ground level would therefore be achieved. Above ground level, the proposed setback of 3m to balconies and 5m to the rear walls would achieve the minimum 3m requirement.
- 7.6.4 The side setbacks of 0m for the ground floor and 3m for the first, second and third floor levels would satisfy UCZ PDC 18.
- 7.6.5 It is considered that the setbacks achieve the relevant Development Plan provisions.

7.7 Energy Conservation Measures

- 7.7.1 It is desired that all dwellings provide adequate thermal comfort for occupants through passive design features such as orientation of windows, living areas and private open space, and cross-ventilation (Council Wide PDC 79).

- 7.7.2 While all of the dwellings would have a north-south orientation, only half would have balconies facing north. The location of windows and doors would enable reasonable levels of natural light and cross ventilation to each dwelling at all levels. The primary use of internal facing windows, and balconies with appropriate setbacks, limit the effect that development of adjoining sites may have upon future light and ventilation opportunities.
- 7.7.3 Solar supported power to all public areas and 1.2kW solar power systems would be provided. In regard to heating and cooling, individual air-conditioning units and hot water systems could be screened and located to the balconies and/or on the roof.
- 7.7.4 Ms Newman supports the use of recycled brick and awnings/shade devices to east and west facing windows.
- 7.7.5 Accordingly, the building design incorporates features to provide adequate thermal comfort to occupants which would not unreasonably impact on adjoining properties or detract from the appearance of the building.

7.8 Noise Attenuation

- 7.8.1 It is anticipated that noise and air quality impacts are mitigated through appropriate building design and orientation (UCZ Objective 1). Further, residential buildings should feature adequate separation between the habitable room windows and balconies of other buildings (CW PDC 111 and 161).
- 7.8.2 In addition to the above, the subject land is identified with Map Pr/1 (Overlay 5) for the purpose of noise and air emissions. It is outlined by PDC 1 of the Noise and Air Emissions Overlay that sensitive development located adjacent to high noise and/or air pollution sources should be protected from these additional potential impacts.
- 7.8.3 It is also desirable that attached dwellings are designed to minimise the transmission of sound between dwellings, particularly between living areas and bedrooms (Council-wide PDC 93). To this end, it is noted that the layout of each dwelling is such that no bedrooms abut the living area of an adjoining dwelling.
- 7.8.4 It is noted that the construction of the building would be undertaken in accordance with the recently enacted Minister's Specification SA78B – Construction requirements for the control of external sound. Compliance with the Minister's Specification is required as part of the Building Code of Australia (BCA). The Minister's Specification incorporates principles which are consistent with the Noise and Air Emissions Overlay and provide quantitative requirements that ensure that the relevant Principles of Development Control are sufficiently addressed in the design of these types of development.

7.9 Private open space provision

- 7.9.1 Private open space areas (POS) located above ground level should have a minimum width of 2 metres and be directly accessible from a habitable room (CW PDC 153). The two bedroom dwellings should be provided with a minimum of 11m² POS (CW PDC 152).
- 7.9.2 Half of the dwellings types would be provided with 10.6m² of POS and the other half with 11.6m². In all cases the balconies would be 2m wide.
- 7.9.3 It is noted that all southern balconies to all three levels are adjacent the rear yard of the existing single storey detached dwelling at 53 Devonport Terrace. With

appropriate screening considered further in section 7.16 of this report, the balconies would not be detrimental to the locality, as overlooking of adjacent private open space would be prevented. Within 20 metres to the southeast, over the corner of adjoining land at 7 Allan Street and 53 and 51 Devonport Terrace, sightlines from the balconies to public open space (George Whittle Reserve) would be created. In future these views would be subject to changes of land use to the adjoining land within the UCZ and BPA.

7.9.4 All primary areas of private open space are directly accessible from and well integrated with living areas. The long term amenity offered by the balconies would depend upon the development of adjoining sites, though the upper floor level balcony 3m setback ameliorates unreasonable impacts of such development.

7.9.5 The 2m wide balconies are sufficiently functional and respond appropriately to the relevant principles of development control described above. While half of the balconies satisfy the 11m² POS minimum area, the location of public open space less than 20m to the east of the site at George Whittle Reserve would assist in reducing the impact of the minor shortfall overall.

7.10 Car Parking and Bicycle Parking

7.10.1 Within the UCZ, it is anticipated that the provision of car and bicycle parking would be in accordance with Tables Pr/5 and Pr/6 of Council's Development Plan. It is also anticipated that on-site vehicle parking would not be visible from the primary street frontage through the use of design solutions such as locating parking areas behind the front building façade and screening undercroft parking areas with landscaping and articulated screening (BPA Desired Character Statement).

7.10.2 With regard to the provision of car parking, 1 car parking space is desired for each dwelling and an additional 0.25 spaces per dwelling for visitor parking (Table Pr/5 - Table 3). Table 1 seeks 3-5 spaces per 100 m² of gross leasable area (GLA) in relation to non-residential uses. Consequently, the anticipated car parking rate for the proposal would be 16 car parking spaces, comprised of 12 for dwelling occupants, 3 for visitors and 1 for the 16m² commercial tenancy. It is noted in Table Pr/5 that a lesser number of parking spaces may be provided for mixed use development with integrated (shared) parking, where the respective peak parking demands across the range of uses occurs at different times.

7.10.3 The proposal would provide opportunities for the parking of 14 vehicles to the ground floor of the proposal. One of the car parking spaces would be suitable for shared use ie for the commercial tenancy from 8am – 6pm and visitor parking overnight. With another park available for visitors at all times, a shortfall of two car parking spaces during the day and one overnight would result. It is noted that all parking spaces would have a minimum size of 2.4m x 5.4m and therefore would be of sufficient size.

7.10.4 With lower demand for visitor parking during the day for residential flat buildings and the shortfall reduced to one space overnight, negligible impact on parking in surrounding streets would occur. As Churchill Road bus stop 8A is a 100m path of travel southeast of the site, the minor departure in the supply of off-street car parking is not considered to be fatal to the application. In consideration of the supply of off-street parking for the proposed development, including shared parking, there would be sufficient off-street parking spaces provided to cater for the anticipated demand.

7.10.5 Council's Development Plan includes the ability for an applicant to offer a contribution to the Off Street Car Parking Development Fund, where development

has a shortfall in off street car parking (Council-wide PDC 217). To date this has not occurred, but the applicant is aware of the fund. The creation of a Car Parking Fund, and subsequent acceptance of contributions to the Fund, suggests that there are occasions where a development may be considered acceptable despite not providing the desired number of off-street parking spaces. In turn, there is an implicit acceptance that such development will generate parking demand that can only be satisfied through the use of on-street parking spaces or publicly available off-street parking areas.

7.10.6 Table Pr/6 outlines an anticipated demand for bicycle parking as follows:

- Residents, one for every four dwellings
- Visitors, one every ten dwellings
- Employees, one for every 200m² of office GLA
- Customers, two plus one for every 1000m² of office GLA;

and acknowledges that in residential and mixed use development, the provision of bicycle parking may be reduced and shared where the operating hours of commercial activities complement the residential use of the site.

7.10.7 Four bicycle parking spaces would be provided to the ground floor, two each between car parking spaces no. 8 and 9, and 13 and 14. With the commercial tenancy at only 16m² GLA, bicycle parking for employees and/or customers would be negligible, as would the parking rates of 2 plus 1 for every 1000m² of GLA. Applying the shared parking dispensation, 4 parks would be sufficient. During the day 2 parks would be for occupants, 1 for visitors and the remaining 1 for the commercial tenancy, while at night 3 occupants and 1 visitor would be able to use the spaces.

7.10.8 Limited opportunities for on-street parking near the subject site are noted to Allan Street. It is anticipated that on-street parking for two vehicles each side of the proposed driveway, in combination with the supply of on-site parking for 14 vehicles, shared parking and public transport would address the minor departure from the relevant parking guideline relating to the provision of visitor parking. Bicycle parking is considered to achieve the relevant Development Plan provisions.

7.11 Traffic and Vehicular Movements

7.11.1 Car parking areas servicing more than one dwelling should safely and conveniently serve pedestrians, cyclists and motorists, while providing adequate manoeuvring space between the parking area and a street with the capacity to accommodate such movements (CW PDC 63).

7.11.2 Further, development should not generate pedestrian or vehicular traffic onto a public road in such a manner that materially impairs the movement of traffic on that road (CW PDC 209). Car parking areas should minimise conflict between vehicles and pedestrians, while minimising the number of access points and the need for vehicles to reverse onto public roads (CW PDC 212).

7.11.3 The existing single driveway adjacent the western boundary would be removed and reinstated as footpath, while the proposed central driveway would be located 6m away from the same boundary. It is considered that the proposed 5.8m wide mesh screen and roller grill, near 'at grade' access to Allan Street and widening to a 6m wide crossover would provide safe two-way movement into and out of the subject land.

- 7.11.4 Council's Assets and Infrastructure staff have considered the proposal and the removal and permanent closure of the existing crossover is supported. With the new double crossover Council staff support the location, though note that traffic and congestion to Allan Street would be monitored and treatments applied if conditions deteriorated unreasonably following this or future development.
- 7.11.5 It is noted that the relevant Australian Standard provides for a minimum aisle width of 5.8m for residential development of this nature, to allow for efficient internal vehicle manoeuvring. The proposed driveway width to the ground floor is generally 5.8m and at the narrowest point adjacent the stairwell, it is 3.5m. With a 5.4m x 2.7m manoeuvring area proposed for car parking space no. 5, adjacent this narrow point, all vehicles will be able to enter and exit each parking space and the site itself.
- 7.11.6 The primary pedestrian access would be available to all dwellings and car parking spaces, via one access point to Allan Street. Secondary pedestrian access to the Commercial Tenancy would also occur direct from Allan Street.
- 7.11.7 The relocation of the driveway, proposed pedestrian access and overall traffic management for the proposal can be supported. While the aisle width at one point internally represents a departure from the relevant standard, it is considered that the provision of a substantial manoeuvring space will minimise any negative impacts associated with this.

7.12 Landscaping

- 7.12.1 Within the UCZ, it is desired that new buildings would be set back from Allan Street to provide for landscaping comprising low-lying shrubs, grass plantings and trees with high canopies. This planting will provide visual softening of the built form and reflect the scale of landscaping in the public realm (UCZ BPA Desired Character Statement).
- 7.12.2 With a 3m setback from the property's street frontage, an appropriate area of landscaping forward of the building would be provided, in conjunction with pedestrian and vehicle access ramps. A combination of ground covers, shrubs and a semi-mature clean trunked tree to the front of the building is proposed, as per species selection listed and shown to the 3D Perspectives, Site and Ground Floor Plans and Elevation (**Attachment 6-7, 10-11 and 16**).
- 7.12.3 Vertical planting to planter boxes to the northern and southern balconies is shown on the 3D Perspective, Floor Plans and Elevations (refer **Attachments 7, 12-14, 16 and 18**), with climbers to the planter boxes as specified on the species selection list.
- 7.12.4 This approach overall to landscaping treatments is supported. Notwithstanding this, should the application be approved, a condition would be recommended which requires all landscaping to be maintained to Council's satisfaction, which would include the maintenance of appropriate sight lines.

7.13 Waste Management

- 7.13.1 It is anticipated that new development would enable waste management options that provide adequate storage while screening these areas from public view. The design of driveway crossovers, parking areas, accessways and elements that interact with the public realm should also safely and efficiently accommodate the collection of waste and recycling materials.

- 7.13.2 Additionally, new developments should provide a dedicated area for the on-site storage, collection and sorting of recyclable materials and waste that is safe and convenient (CW PDC 147, 169 and 170).
- 7.13.3 A communal waste system would be available for the provision of waste, green waste and recycling within an appropriately sized designated area to the middle of the site between the Cage Storage area and Lift. The waste storage area would be screened from public view in a manner cohesive with the materials and design language of the building's facade.
- 7.13.4 With reference to the *South Australian Better Practice Guide – Waste Management in Residential or Mixed Use Developments*, it can be anticipated that a medium density mixed use development comprising 12 two bedroom dwellings and Commercial Tenancy would generate approximately 840L of general waste, 770L of recycling waste and 480L of organic waste per week. These demands would be met by the provision of 660L bin storage comprising 2 general waste, 2 recyclable waste and 1 green organic waste bin, which could be collected by private contractor.
- 7.13.5 While the above is reflected appropriately in the applicant's accompanying submission, it is recommended that a condition be imposed on any consent ensuring the provision of recyclable and green organic waste bins. Further, a condition ensuring the timeliness of bin transfer from private contractor to the storage area, as well as the maintenance of the storage area to a satisfactory standard, would also be recommended.

7.14 Overshadowing

- 7.14.1 Generally, the design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space areas while minimising the overshadowing of windows of main internal living areas, upper-level private balconies that provide the primary open space area for a dwelling and solar collectors (CW PDC 138).
- 7.14.2 The subject site and properties directly east, west and south of the subject site, as well as land to the northern side of Allan Street are identified to be developed at a greater intensity than that of the existing built form. With no adjoining residential allotments in an adjoining zone, the proposal would not need to satisfy the interface height provisions in UCZ PDC 14.
- 7.14.3 It is apparent that in winter the building will be the cause of some early morning shadowing to the rear of the adjacent property to the west, midday shadowing to the rear of 53 Devonport Terrace to the south, and late afternoon shadowing to the rear of the eastern property; as shown to Site Study Plans (**Attachment 8**). This does not represent a departure from Council's Development Plan, as the 3m side setbacks and 5m rear setback (excluding the southern balconies at 3m rear setback), reduce the interface and overshadowing impact to adjoining properties.
- 7.14.4 It is also worth noting that the overall building height of 14.9m is marginally lower than the maximum height of 15m desired within the policy area. However, the proposal is not anticipated to be the cause of unreasonable overshadowing impact to adjoining properties.

7.15 Visual Privacy

- 7.15.1 It is anticipated that a variety of measures should be used to minimise direct overlooking into adjacent internal living and private open space areas. Such measures should be integrated into the overall building design and should have

minimal negative effect on the amenity enjoyed by the occupants of neighbouring dwellings (CW PDC 139).

7.15.2 It is noted that the commonly used 1.7m and 1.8m high privacy screens for windows and balconies referred to in CW PDC 90 are specifically excluded for buildings that are three or more storeys in height in the UCZ. When balancing adequate levels of light and ventilation to the Type 4 dwelling southern balconies and potential overlooking to the rear of 53 Devonport Terrace, additional screening is considered to be appropriate. To best balance occupant amenity concerns, the most appropriate treatment is considered to be in the form of 1.5m high opaque glazing. Should the Panel support such a position, this additional element could be conditioned accordingly.

7.15.3 As the development is not adjacent to a Residential Zone CW PDC 264 does not apply. The building should nonetheless be designed to minimise overlooking and overshadowing of adjacent dwellings and private open space (CW PDC 70, 76(b), 83(b) and 89). 1.5m high window sill heights and screening to full height windows would occur to the east and west facing bedroom windows. This would appropriately minimise any potential overlooking of the adjacent dwellings each side at 7 and 11 Allan Street. While the proposal generally satisfies adjoining visual privacy, 1.5m high screening to the southern balconies of the Type 4 dwellings is recommended and an appropriate condition is included.

7.15.4 It is considered that this overall approach would provide sufficient privacy protection for adjoining residential properties while maximising passive surveillance opportunities of common property.

8. CONCLUSION

- 8.1 The proposal seeks to establish a high density residential land use on the subject land. The building would be four storeys in height, which is above the minimum, and within the maximum heights anticipated by Council's Development Plan.
- 8.2 The proposal would be consistent with desired land use, density, design, setbacks, private open space, waste management, visual privacy and the residential zone interface. A minor change is recommended to the colour schedule, as conditioned. Not all necessary stormwater detail is provided, though this may be appropriately managed through the imposition of a reserved matter as recommended.
- 8.3 Vehicular access would be provided from Allan Street, with appropriate car and bicycle parking areas for residents only provided.
- 8.4 The application is therefore considered to be relatively consistent with the relevant provisions of the Prospect (City) Development Plan and warrants the granting of development plan consent, subject to appropriate conditions.

9. RECOMMENDATION

It is recommended:

That with reference to the relevant provisions of the Prospect (City) Development Plan, the zoning of the land within which the proposed development is situated and the locality within which the land is situated, the Panel resolves that development application 050/341/2016 is not seriously at variance with the Development Plan and as such a decision shall be made on the merits of the application; and

That pursuant to the *Development Act 1993*, as amended, Development Plan Consent be approved to DA 050/314/2016 from Yianni Moschou for 4 Storey Mixed Use Building

comprising 12 dwellings with Commercial Tenancy and associated Car Parking at 9 Allan Street Prospect (CT 6169/714), subject to the following reserved matter, conditions and notes:

Reserved Matter:

1. A detailed stormwater management plan shall be provided, and shall demonstrate that post-development outflow rates from the site will match pre-development rates in 1 in 20 ARI storm events. The location and capacity of any on-site detention tanks, as well as the extent of any fill and associated retaining walls, shall be clearly described.

Conditions:

1. The development shall take place in accordance with plans and details stamped by Council relating to Development Application number 050/341/2016, except as modified by any conditions detailed herein. All works detailed in the approved plans and required by conditions are to be completed prior to the occupation of the approved development.
2. All driveways, parking and manoeuvring areas must be formed, surfaced with concrete, bitumen or paving, and be properly drained. They shall not be used for the storage of materials or goods including waste products and refuse.

Surfacing of the car park, line marking, directional arrows and associated signage shall be maintained to the reasonable satisfaction of Council at all times. All car parking spaces must be line-marked in accordance with the approved plans and to comply with the Australian/New Zealand Standard for Parking Facilities (Part 1: Off-street Car Parking (AS/NZS 2890.1:2004) prior to occupation.

The car parking space linked with the commercial tenancy is to be used for visitor parking from 6pm - 8am only. Clearly marked signage advising same is to be installed in this locality.

3. Air-conditioning units and solar hot water heaters shall be provided with screening devices designed to complement the colours, materials and finishes of the building approved herein, and shall be sited to adequately screen the units from view to the reasonable satisfaction of Council.
4. The Community Corporation shall ensure that the waste storage area is cleaned and maintained to the satisfaction of Council. General, recyclable and green organic wastes shall be co-mingled, with the Community Corporation maintaining responsibility for transporting bins between the private contractor and the storage area in a timely fashion to the satisfaction of Council.
5. To maximise the efficiency of waste recycling:
 - a) Provision shall be made for the separation of recyclable materials for collection and recycling, including paper, cardboard, glass and plastic containers, tins, and any other plastic that 'holds its shape';
 - b) Separate provision shall be made for the collection of food waste (food organics) and food-contaminated cardboard, paper or paper products, which are to be collected for composting; and
 - c) Paper attached to plastic, wax paper or chemically-treated/gloss cardboard will not be included with the materials collected for composting.
6. The building must be maintained, kept tidy, free of graffiti and in good repair and condition at all times.

7. Lighting to driveways, parking and manoeuvring areas shall be lit in accordance with the Australian Standard for Lighting for Roads and Public Spaces (AS1158.1 and AS1158.3) during the hours of darkness that they are in use and accessible by the general public.
8. The following design changes are to occur prior to the issue of Building Rules Consent:
 - a) Front doors to each dwelling to have spy holes or glazed sidelights/vision panels; and
 - b) 1.5m high screening to the southern balconies of all levels of Type 4 dwellings to be included in an appropriate material, colour and finish, to Council's satisfaction.
9. All works on Council land shall be conducted to Council's specification, with all works to be bunted off safely and pedestrian safety to be maintained throughout the construction period. Plantings will also need to be undertaken in line with council specifications in terms of sight distance interference and safety to the community (thorns/poisonous plantings). Plans displaying all relevant details of the Road/Kerbing/Footpath Works shall be submitted to the Assets and Infrastructure Officer for approval prior to the commencement of any such works.
10. The landscaping shall be planted in accordance with the approved plans prior to occupancy of the development. Mature trees shall be no less than 2.0m in height at time of planting. Appropriate species for understorey plantings shall be used to ensure sufficient coverage of the landscaping area. All planting must be of species which will not grow to cause damage to paved or sealed areas, building foundations or underground services.
11. All landscaping areas shall be maintained at all times to the reasonable satisfaction of Council. The applicant or the persons for the time being making use of the subject land shall cultivate, tend and nurture the landscaping, and shall replace any landscaping that becomes diseased or dies. An automated drip irrigation or similar watering system shall be established and maintained to ensure that sufficient water is available to satisfy the needs of the landscaping species selected.
12. During construction of the development approved herein, measures will be implemented to ensure that the construction works do not result in an unreasonable impact on occupiers of adjacent properties or pollution of existing infrastructure through drag-out or stormwater runoff. Measures shall include as necessary:
 - a) A hard surface and controlled washing zone at the entry/exit points to the site, designed to reduce the potential for mud and material dragged out by construction vehicles; and
 - b) Containment of stormwater run-off within the site, which if being discharged into the stormwater system will be filtered to the satisfaction of Council; and
 - c) Reduction of the potential for dust and other airborne particles by the use of water sprinklers and/or other means of containment; and
 - d) The establishment of an appropriate storage compound for waste materials and litter. No building waste material shall be stored outside of the storage compound or similar industrial bin; and
 - e) All mechanical equipment shall be used in a manner to minimise the potential for noise pollution and ensure compliance with the requirements of the Environment Protection (Noise) Policy.
13. Footpaths adjacent to the site are to be kept in a safe condition for pedestrians at all times during construction works. All driveways and footpaths traversed by vehicles using the site are to be maintained in a reasonable condition for the duration of the works, and are to be reinstated to the satisfaction of Council on completion of the works.

No obstruction of the footpath or roadway may occur without the prior permission of Council. For further advice, please contact Council's Infrastructure and Environment Department on 8269 5355.

14. To ensure compliance with applicable standards as described in the Environment Protection (Noise) Policy established under the Environment Protection Act, construction activities shall only take place between the hours of 7:00am and 7:00pm, Monday to Saturday inclusive, and not on Sundays or public holidays.
15. The herein endorsed building shall be designed and constructed such that it complies at all times with the Minister's Specification 78B (*Construction Requirements for the Control of External Sound*).

Advisory Notes:

- (1) Pursuant to Section 86(1)(a) of the Development Act, 1993, you have the right of appeal to the Environment, Resources and Development Court against either 1) a refusal of consent or 2) any condition(s) which have been imposed on a consent. Any such appeal must be lodged with the Court within two (2) months from the day on which you receive this notification or such longer period as may be allowed by the Court.

The Environment, Resources and Development Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide SA 5000 (Postal Address: GPO Box 2465, Adelaide SA 5001).

- (2) The development plan consent granted herein is effective for a period of twelve (12) months from the date of the decision. Unless Council extends this period, building rules consent is required within this time or the consent will lapse.

Any request for an extension of the operative period of the consent must be submitted to Council in writing, accompanied by the applicable fee.

- (3) Further application pursuant to the Local Government Act shall be made to the Infrastructure Assets and Environment Department for the proposed crossover removal and access upgrade prior to demolition and construction activities occurring.

Road/Kerbing/Footpath Works will need to be inspected by an Assets and Infrastructure Officer to determine they have met all relevant requirements. All work including line marking will be the responsibility of the applicant as will the reinstatement of any damaged Infrastructure / Services related to these works. All works will be carried out at the cost to the applicant.

- (4) Prior to the commencement of construction of the development herein approved, it is strongly recommended that you employ the services of a licensed Land Surveyor to carry out an identification survey of the subject land and to peg the true boundaries, to ensure that building work will be either on the true boundaries or the specified distance from the true boundaries of the subject land, as the case may be.

Failure to correctly site the development on the land in accordance with the plans approved herein would constitute a breach of the *Development Act 1993*. Any amendments required to the approved plans as a result of the survey are to be submitted to Council for approval prior to works commencing.

- (5) You are encouraged to consult with adjoining property owners before commencing any work, to assist in minimising nuisance or inconvenience caused during construction.
- (6) You are required to give formal notification to, and consult with, the adjoining property owner if you are removing, replacing or altering an existing fence or building a

freestanding wall along the common boundary that would, for all purposes, be a dividing fence (Section 5 of the *Fences Act 1975*).

(7) If you (the building owner) are undertaking building work that affects the stability of other land or premises, namely:

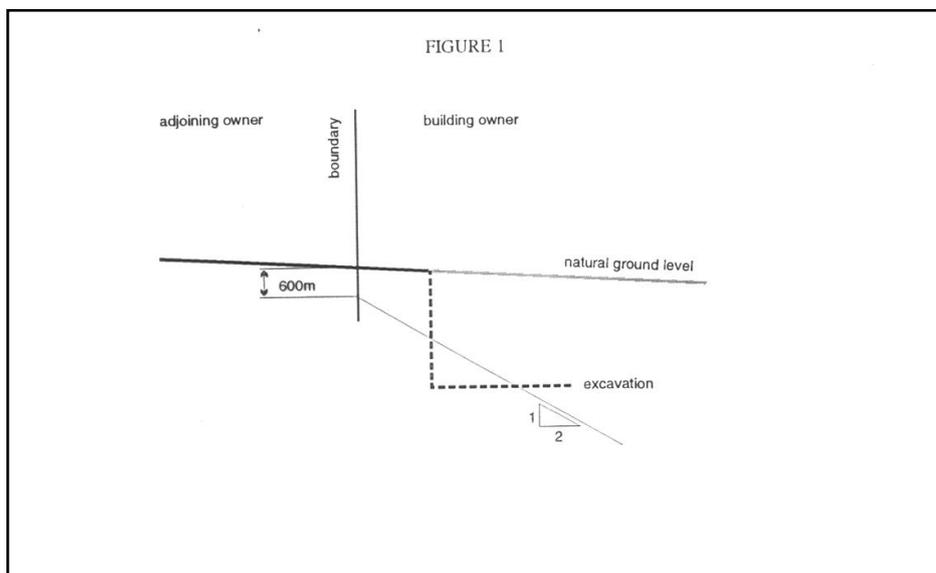
- an excavation which intersects a notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site (as depicted in figure 1); or
- an excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation (as depicted in figure 2); or
- any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200 millimetres in depth (or height) and is for landscaping, gardening or other similar purposes;

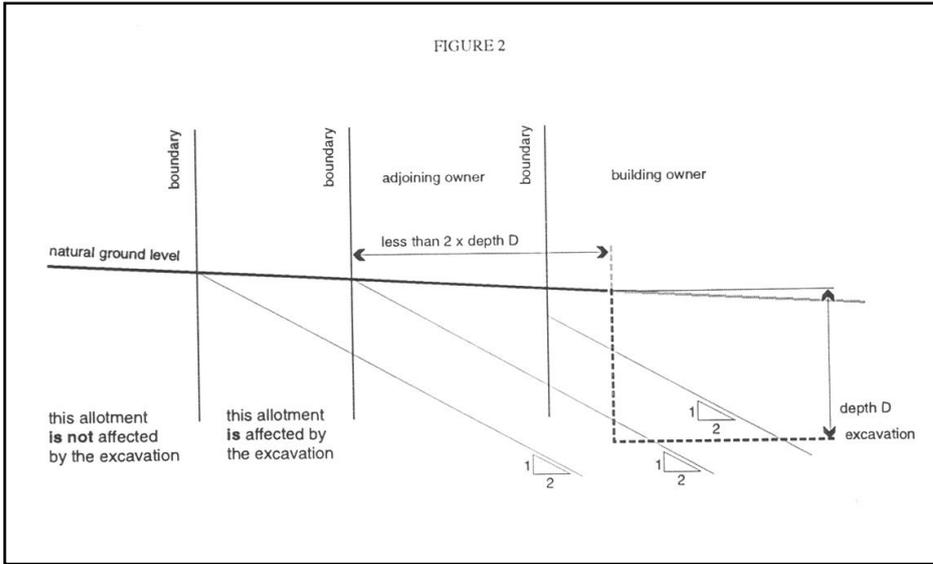
Then you (the building owner) must, at least 28 days before the building work is commenced:

- serve on the owner of the affected land or premises a notice of intention to perform the building work and describing the nature of that work; and
- you must take such precautions as may be prescribed to protect the affected land or premises and must, at the request of the owner of the affected land or premises, carry out such other building work in relation to that land or premises as that adjoining owner is authorised by the regulations to require.

If you fail to comply with these notification requirements, then you are guilty of an offence with a maximum penalty of \$10 000.

You may apply to the Court for a determination of what proportion (if any) of the expense incurred by you in the performance of the building work requested by the owner of affected land or premises (under subsection (b) above) should be borne by the owner of that land or premises, and you may recover an amount determined by the Court from the owner of the affected land or premises as a debt.







City of Prospect

- 6 SEP 2016

Received

Attachment 1

06 SEP 2016

 128 Prospect Road, Prospect SA 5082
 Telephone (08) 8269 5355 Facsimile (08) 8269 5834

 CITY OF PROSPECT
 Development Services

Development Application Form

Application No.: 050 / 341 / 2016 (Office Use Only)

1. Application Type (select one)

 Development Plan Consent only
 (Planning Only)

 Building Rules Consent only
 (Building Only)

 Development Approval
 (Planning and Building)

2. Location of Proposed Development

 Unit #: _____ House #: 9 Street: ALLAN
 Suburb: PROSPECT Postcode: 5082 CT Volume and Folio: _____

3. Details of Parties

Applicant

 Name: YIANNI MOSCHOU Address: 129 CHURCHILL RD PROSPECT
 Contact No.: 0427 978 494 Email: yianni@agcprojects.com.au

 Owner as applicant

 Name: MOAI PROJECTS Address: AS ABOVE
 Contact No.: _____ Email: _____

 Builder owner builder as applicant to be advised other

 Name: ALL PROJECTS Address: AS ABOVE
 Contact No.: _____ Email: _____

Builders Licence No. 185295

4. Proposal Details

 Description of Proposal: 12 NEW APARTMENT & CAR PARKING + CAFE
 Existing Use of Property: RESIDENTIAL DWELLING.
 Estimated Cost of Development: \$1,900,000

5. Declarations

- Building Rules Classification sought: 2, 6 & 7a. Present Class: 1a & 10a.
- Proposed number of employees (for Class 5, 6, 7, 8 or 9): 2
- Proposed number of persons for whom accommodation is provided (Class 9a only):
- Proposed number of occupants on the premises (Class 9b only):
- Does Schedule 21 or Schedule 22 of the Development Regulations 2008 apply (activities of environmental or major environmental significance)? yes no
- Has the Construction Industry Training Board (CITB) levy been paid? yes no

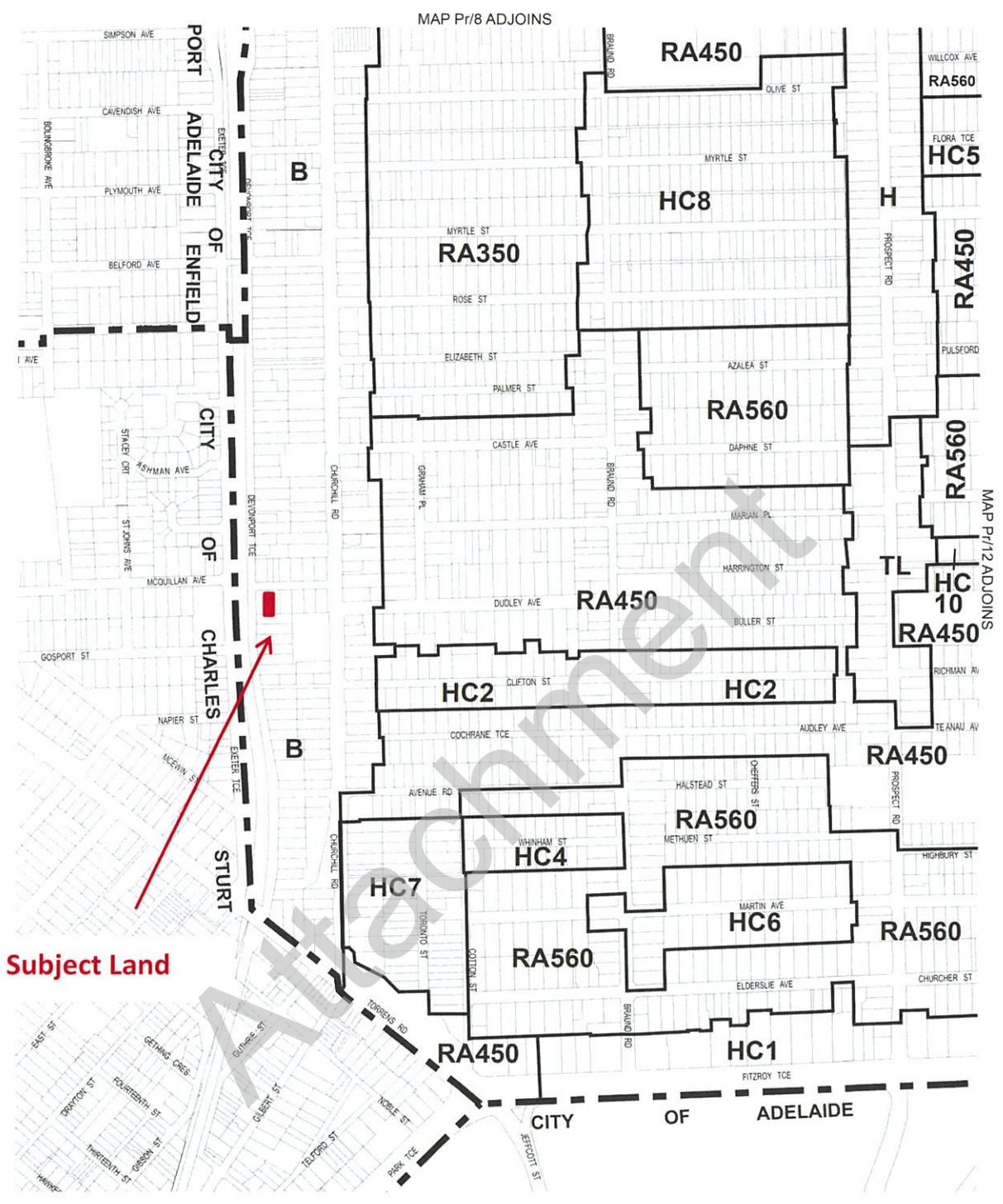
I acknowledge that Council may make copies of this application and documentation in accordance with the *Development Regulations 2008* and *Development Act 1993*. Details forming part of the application may be included in a Development Assessment Panel agenda published on Council's website.

If published, I request that Council obscures my telephone number and email address. yes no

I have sought permission from the architect/engineer to allow reproduction of the application documents for provision to third parties. yes no

 Name: [Signature] Signature: YIANNI MOSCHOU Date: 6/9/2016

 Applicant Owner Builder



- RA560 Residential Policy Area A560
- RA450 Residential Policy Area A450
- RA350 Residential Policy Area A350
- HC1 Historic Conservation Area 1 Policy Area
- HC2 Historic Conservation Area 2 Policy Area
- HC4 Historic Conservation Area 4 Policy Area
- HC5 Historic Conservation Area 5 Policy Area
- HC6 Historic Conservation Area 6 Policy Area
- HC7 Historic Conservation Area 7 Policy Area
- HC8 Historic Conservation Area 8 Policy Area
- HC10 Historic Conservation Area 10 Policy Area
- B Boulevard Policy Area
- H High Street Policy Area
- TL Transit Living Policy Area
- Policy Area Boundary
- - - - - Development Plan Boundary
- Area not covered by Policy



**PROSPECT COUNCIL
POLICY AREAS
MAP Pr/11**

Consolidated - 21 April 2016



Civic Centre
 128 Prospect Road
 Prospect SA 5082 AUSTRALIA
 Telephone: 08 8269 5355
 Email: admin@prospect.sa.gov.au



Notes	Disclaimer
	This map is a representation of the information currently held by the City of Prospect. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.

Site Inspection

18 October 2016



9 Allan Street, looking south-east



9 Allan Street, looking south-west



2 Allan Street, looking north-west



1 and 2 Allan Street, looking west

- 00- Cover Page
- 01- Renders and materials
- 02- Site Study
- PL100- Demolition plan
- PL101- Site plan
- PL201- Ground floor site plan
- PL202- First Floor plan
- PL203- Second Floor plan
- PL204- Third Floor plan
- PL206- Roof plan
- PL301- North Elevation
- PL302- West Elevation
- PL303- South Elevation
- PL304- East Elevation
- PL401- Section 'A-A'
- PL402- Section 'B-B'



AMENDED PLAN
26/10/16



Design principles-
 To create a solid textured ground floor podium by way of a rippled concrete finish. This gives way to an Australian vernacular theme at the levels above ground, by utilising a timber look cladding to the sides and balcony elevations. Eventually leading to a neutral toned clerestory projection.



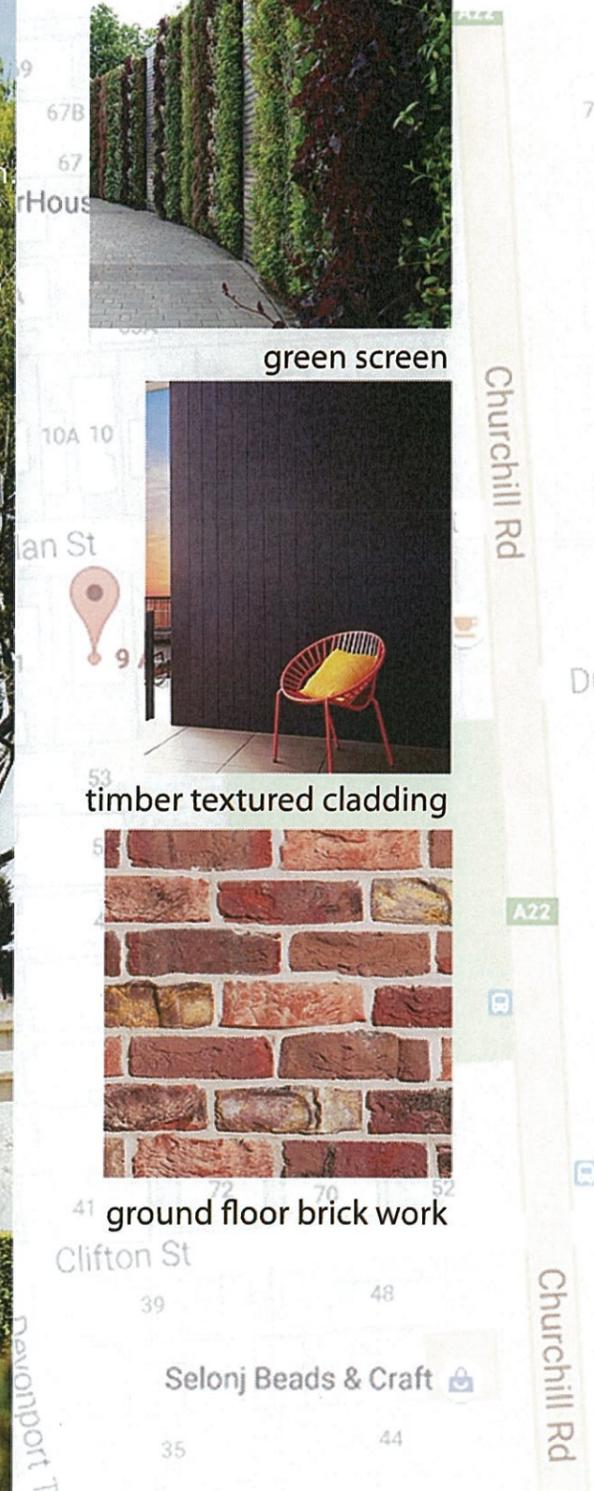
green screen

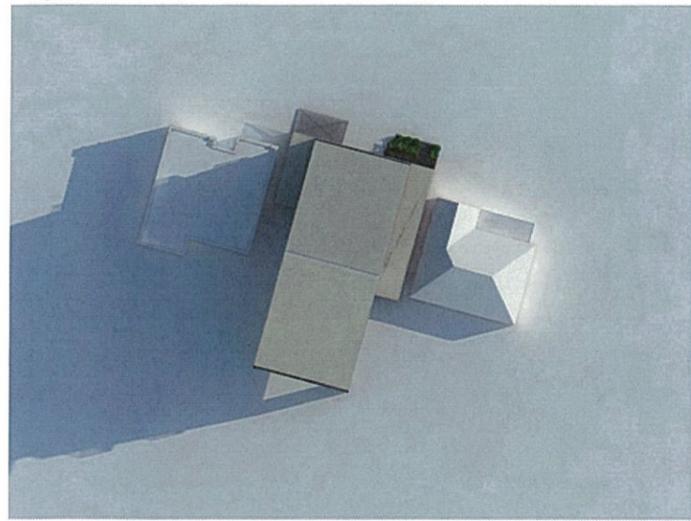


timber textured cladding

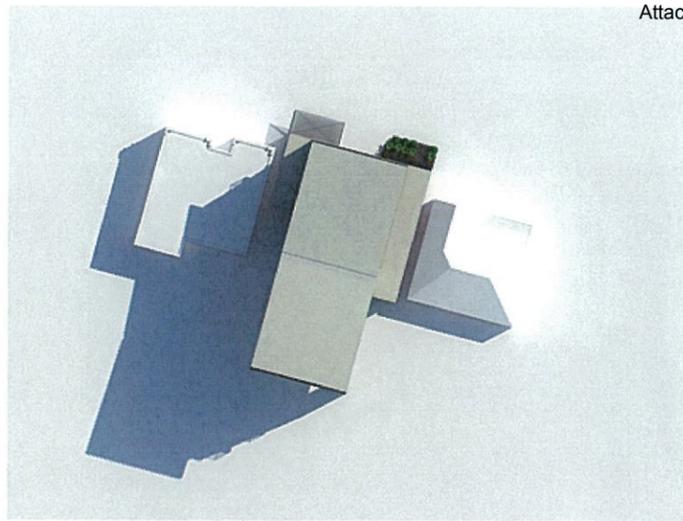


ground floor brick work

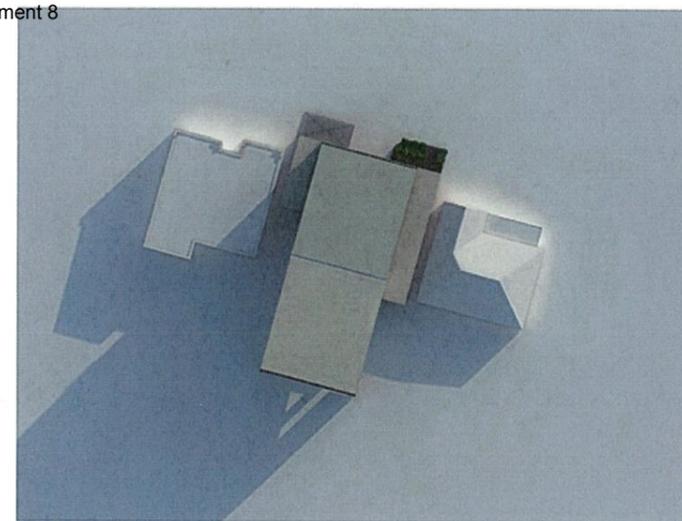




Autumnal Equinox- 9am

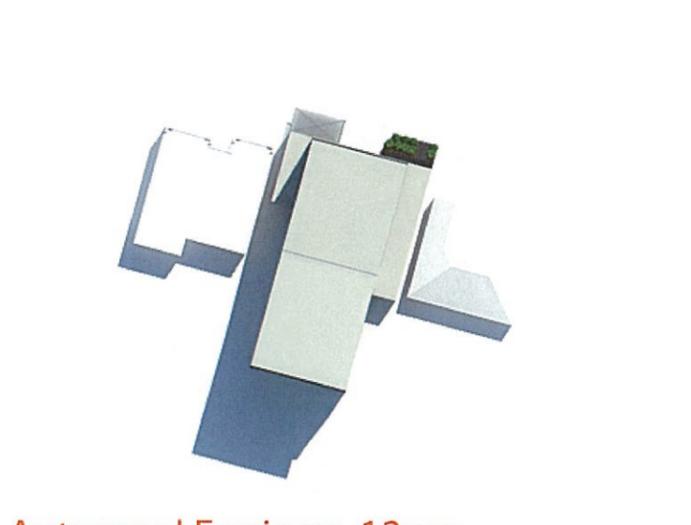


Spring Equinox- 9am



Winter Solstice- 9am

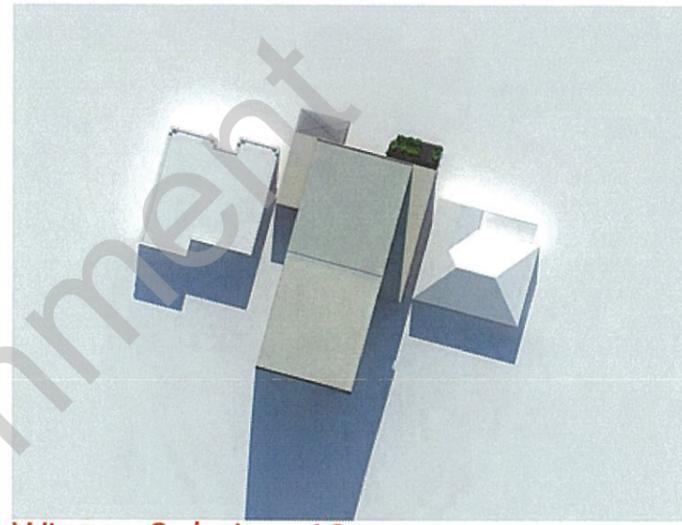
OVER SHADOWING IN BRIEF
-Design Technique 78.1 requires a minimum amount of consecutive sunlight during the winter solstice of two hours between 9am and 3pm. It is clear that both neighbouring properties get over 3hrs of consecutive sunlight to 100% of the existing POS between these times.



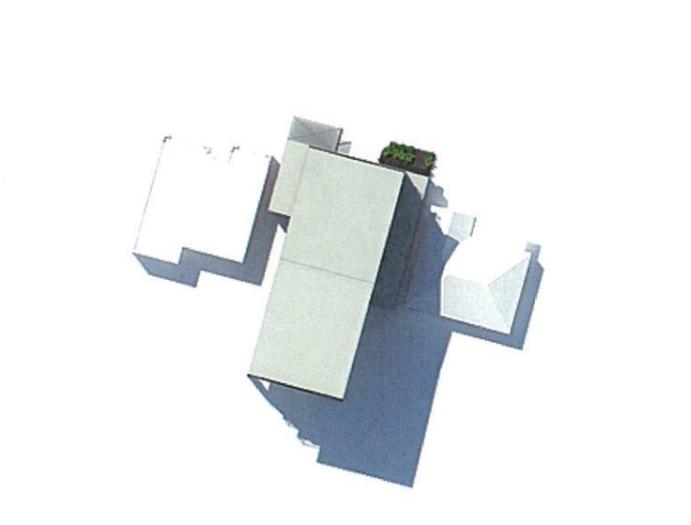
Autumnal Equinox- 12pm



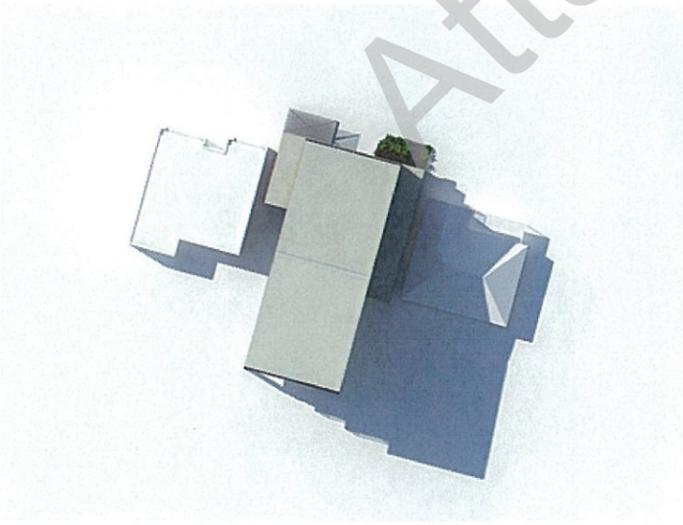
Spring Equinox- 12pm



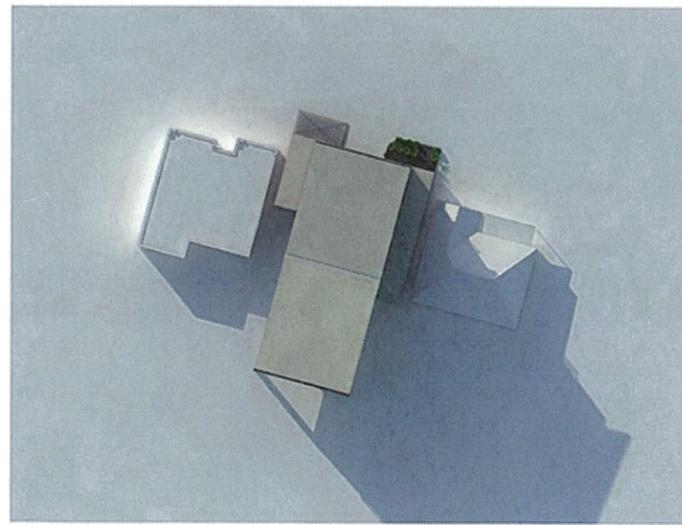
Winter Solstice- 12pm



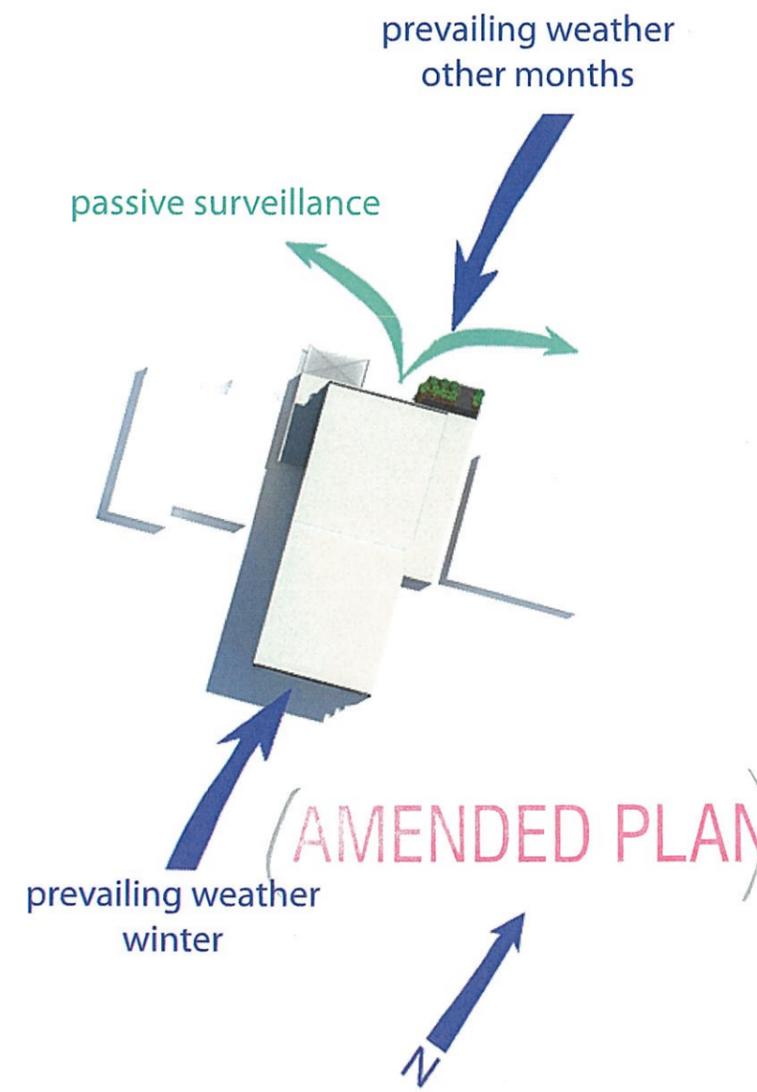
Autumnal Equinox- 3pm



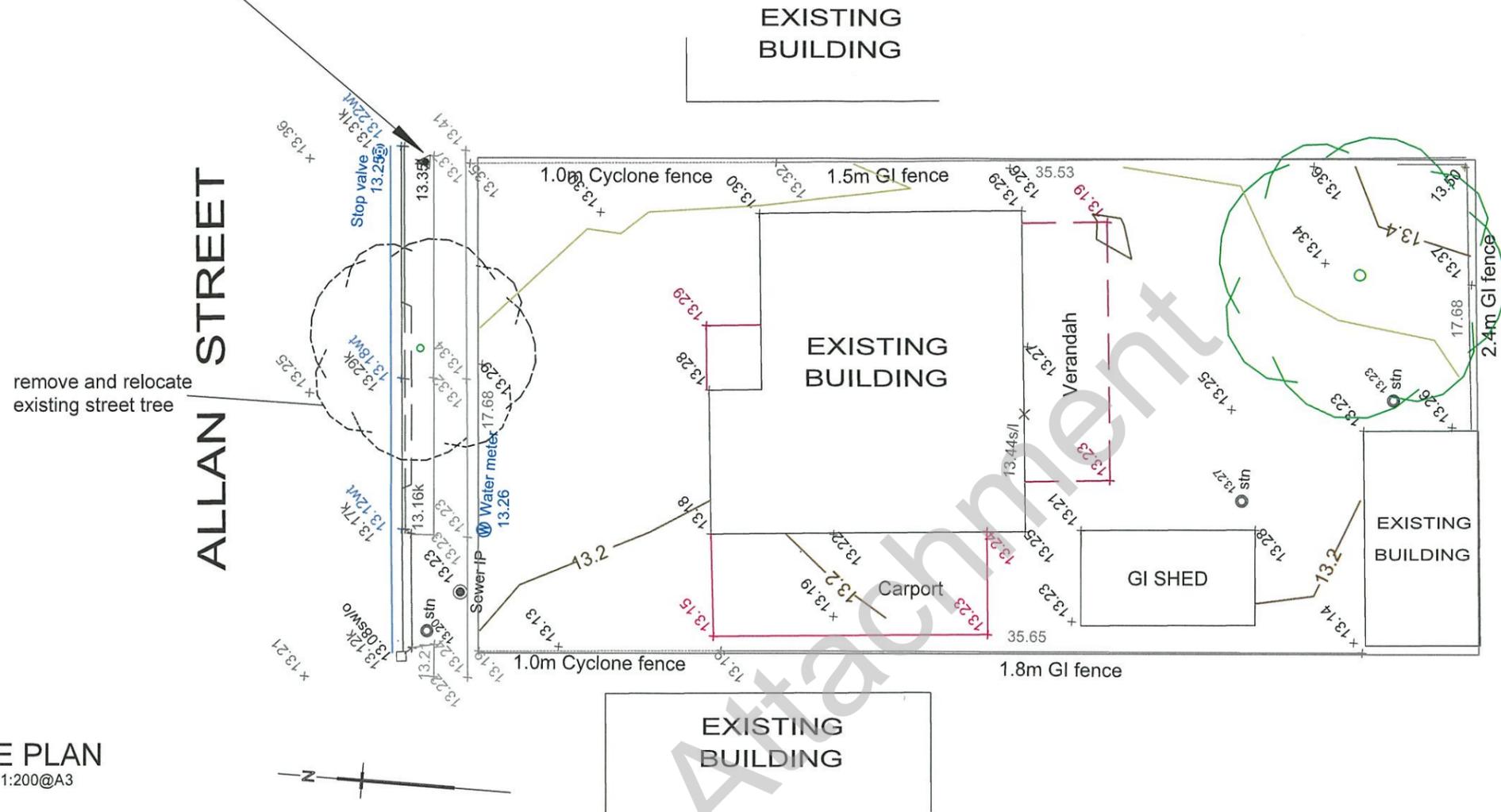
Spring Equinox- 3pm



Winter Solstice- 3pm



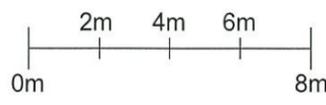
TBM : Top of the lowest bolt on the stobie pole
Adopted elevation = 13.77m AHD



remove and relocate existing street tree

SITE PLAN
SCALE 1:200@A3

AMENDED PLAN



DEMOLITION NOTES

- PROVIDE TEMPORARY FENCING AS REQUIRED
- MAINTAIN EXISTING FENCING AS REQUIRED
- PROVIDE DUST CONTROL MEASURES DURING DEMOLITION BY WAY OF WATERING DOWN DURING DEMOLITION
- MAKE GOOD ANY SURROUNDING PAVING, CURBING AND ROAD WAY AS REQUIRED
- REMOVE TREE IN SOUTH EASTERN CORNER
- REMOVE ALL PAVING AND VEGETATION DURING DEMOLITION PROCESS
- PROVIDE DILAPIDATION REPORT PRIOR TO COMMENCING ANY SITE WORKS
- REMOVE ALL BUILDINGS, STRUCTURES, GARAGES AND ASSOCIATED FOOTINGS
- APPLY TO CITY OF PROSPECT FOR REMOVAL AND FUTURE REINSTATEMENT OF EXISTING STREET TREE
- PROVIDE NEW CROSS OVER AS INDICATED ON THE SITE PLAN- REINSTATE CURBING TO EXISTING CROSS OVER LOCATION

PLANNING

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

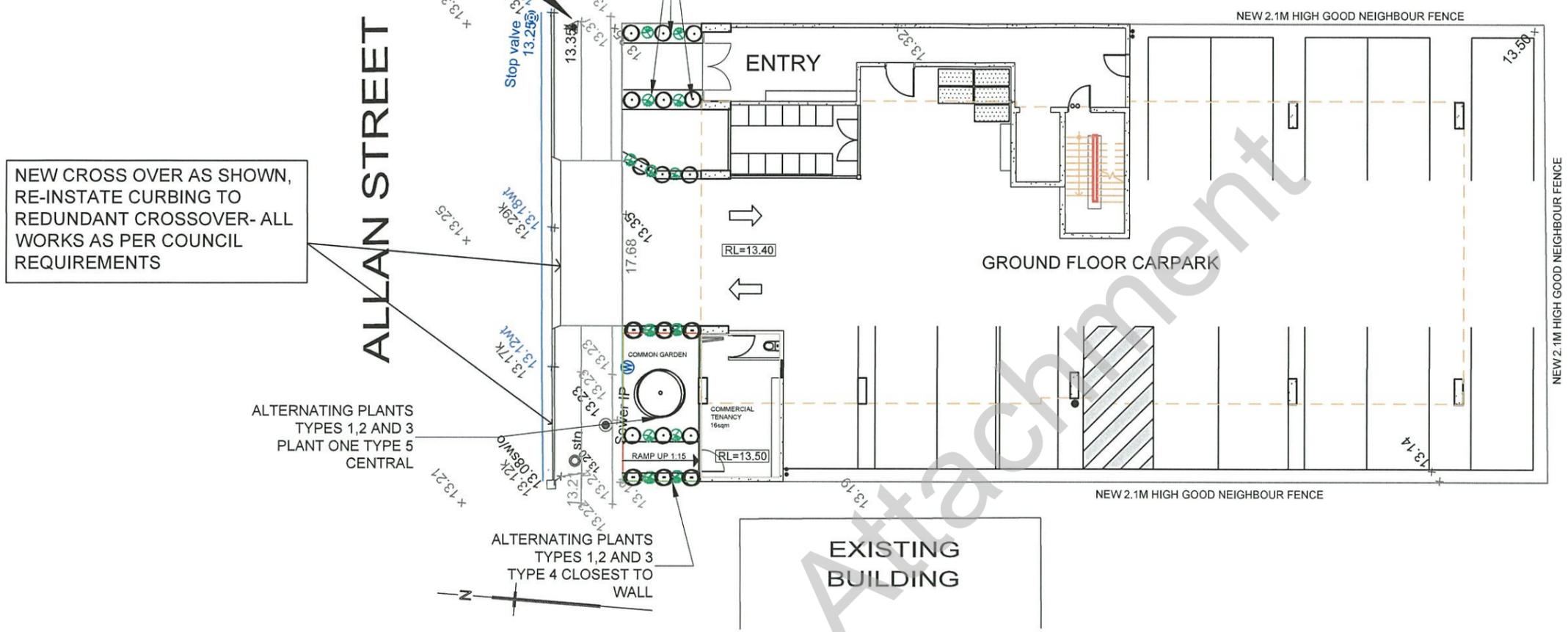
DATE	17 OCTOBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT

DRAWING TITLE	REV	PAGE NO.
SITE PLAN	A	PL100

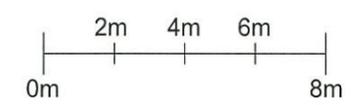


TBM : Top of the lowest bolt on the stobie pole
Adopted elevation = 13.77m AHD

ALL NEW STORMWATER
CONNECTIONS AS PER COUNCIL
REQUIREMENTS



AMENDED PLAN

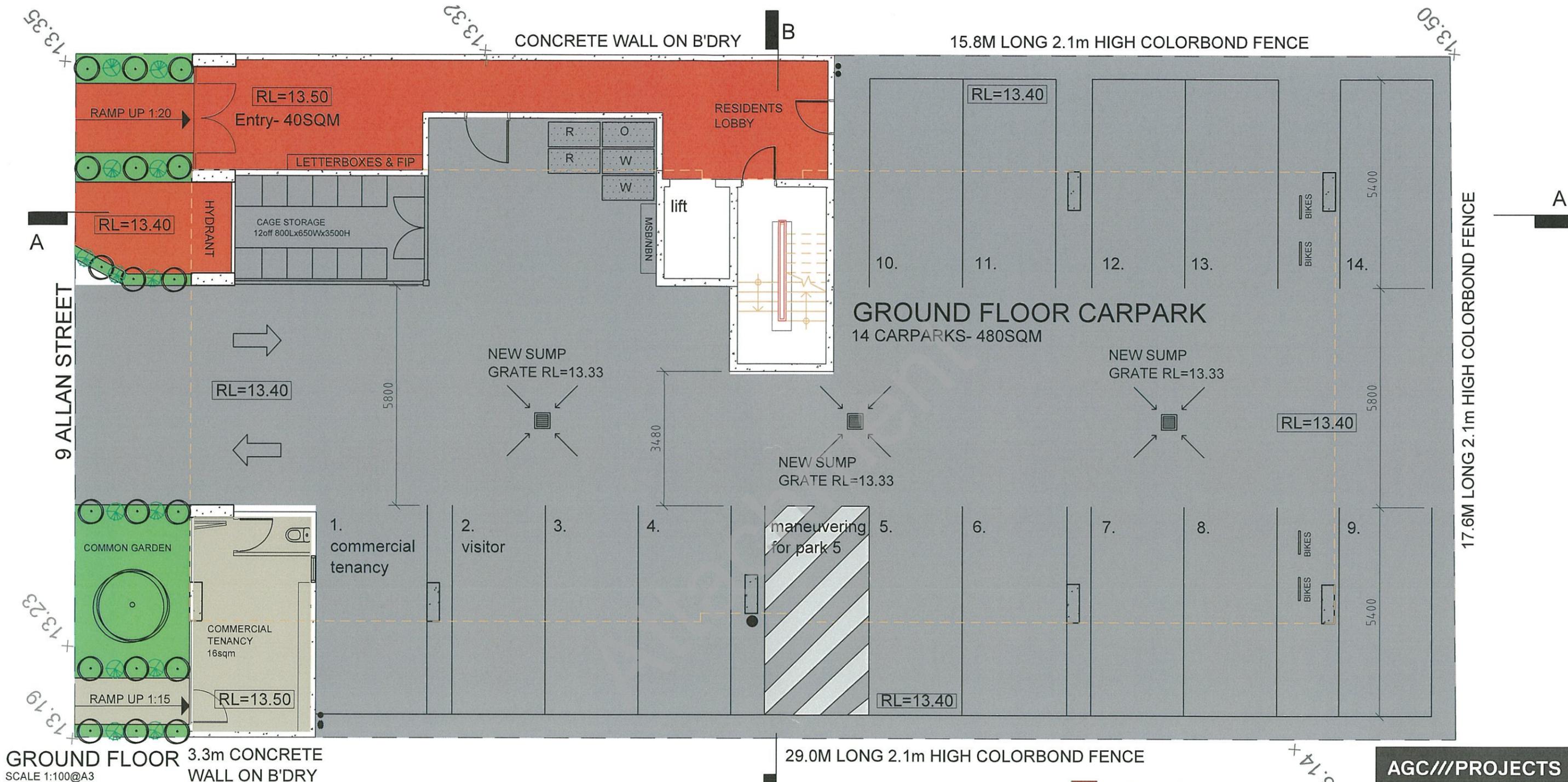


PLANNING

SITE PLAN
SCALE 1:200@A3

- LANDSCAPING LEGEND**
TYPICAL GROUND COVER TO ALL LANDSCAPING BEDS
1. CHRYSOEPHALUM- YELLOW BUTTON
 2. CASURINA GLAUCA OVER EMBEDDED MOSS ROCK
 3. WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
 4. PLANT ONE ACMENA SMITHII 'HOT FLUSH' AT THE END OF EACH BED
 5. PLANT ONE SEMI MATURE BRACHYCHITON POPULNEUS X ACERIFOLIUS 'AUBURN FLAME'
- REINSTATE ALL SURROUNDING PAVING AS REQUIRED
PROVIDE MULCH BASE TO PLANTERS
-LANDSCAPING PLANTER BOXES
PROVIDE A MIX OF
-WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
-OCIMUM AMERICANUM NATIVE BASIL
-JASMINUM DALLACHII-SOFT JASMINE (CLIMBERS)
-HARDENBERGIA COMPTONIANA- NATIVE LILAC (CLIMBERS)

AGC///PROJECTS	
129 CHURCHILL ROAD PROSPECT SA 5082 P. 08 83429973 F. 08 83429974 W. agcprojects.com.au	
DATE	17 OCTOBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT
DRAWING TITLE	SITE PLAN
REV	A
PAGE NO.	PL101



GROUND FLOOR 3.3m CONCRETE WALL ON B'DRY
SCALE 1:100@A3

CONSTRUCTION NOTES

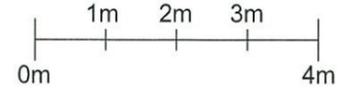
- PARTITION WALLS
PLASTERBOARD DOUBLE STUD FIRE RATED WALL
- GROUND FLOOR COLUMNS
PRECAST CONCRETE
- EXTERNAL INFILL WALLING
STEEL STUD FRAME WITH PLASTERBOARD INTERNALLY WITH INSULATED COLORBOND WALL EXTERNALLY
- ABOVE LEVEL 3 CEILING STEEL FRAMING WITH COLORBOND OVER
- INTERNAL PARTITION WALLING
NOM. 64MM STUD FRAME WITH 10MM PLASTER BOARD
- INTERNAL CEILING
13MM PLASTERBOARD ON SUSPENDED FRAME

-EXTERNAL CEILINGS

- FLUSHED CFC SHEET ON SUSPENDED FRAME
- SETDOWNS**
- 20MM SET DOWNS TO BATHS AND LAUNDRIES
- 50MM SETDOWN TO WALKWAYS AND BALCONIES
- FALL GROUND FLOOR SLAB TO MID LINE OF SLAB- GRADED BACK TO SUMPS EVERY 6-8M
- STAIRS**
- STEEL STAIRS, LANDINGS AND HANDRAILS
- CONSTRUCTION LOAD**
- BALCONIES TO TAKE MOBILE LOAD UP TO TWO TONNES DURING CONSTRUCTION

- COMMON AREAS
- COMMERCIAL SPACE
- LANDSCAPED AREA
- CAR PARK

AMENDED PLAN



PLANNING

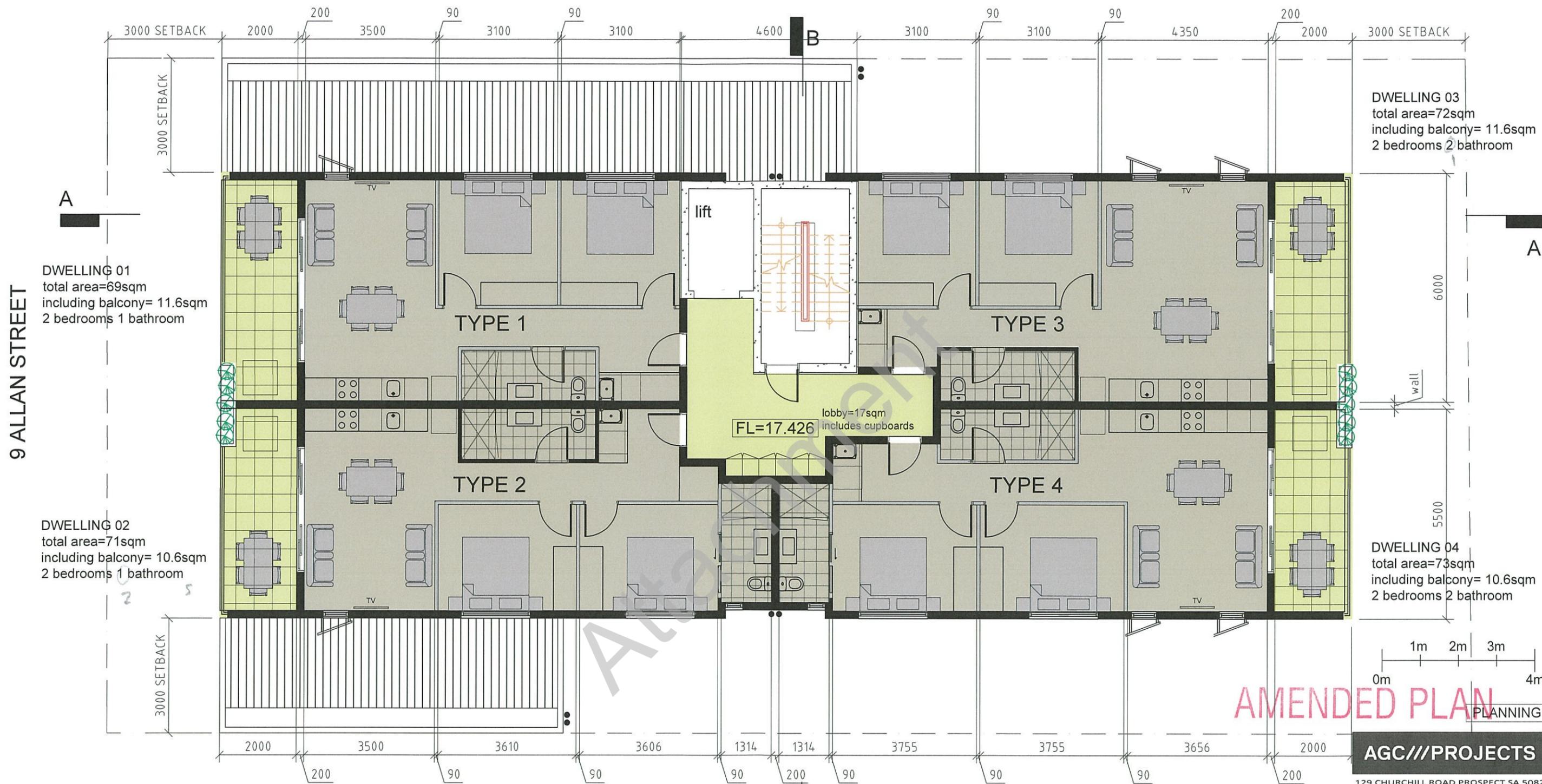
AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE	17 OCTOBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE	REV	PAGE NO.
FLOOR PLANS	A	PL201



DWELLING 01
total area=69sqm
including balcony= 11.6sqm
2 bedrooms 1 bathroom

DWELLING 02
total area=71sqm
including balcony= 10.6sqm
2 bedrooms 1 bathroom

DWELLING 03
total area=72sqm
including balcony= 11.6sqm
2 bedrooms 2 bathroom

DWELLING 04
total area=73sqm
including balcony= 10.6sqm
2 bedrooms 2 bathroom

lobby=17sqm
includes cupboards

FL=17.426

LEVEL 1 FLOOR PLAN
SCALE 1:100@A3

- WALKWAYS AND BALCONIES
- INTERNAL DWELLING AREA
- LANDSCAPED AREA

AMENDED PLAN

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
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DATE 17 OCTOBER 2016

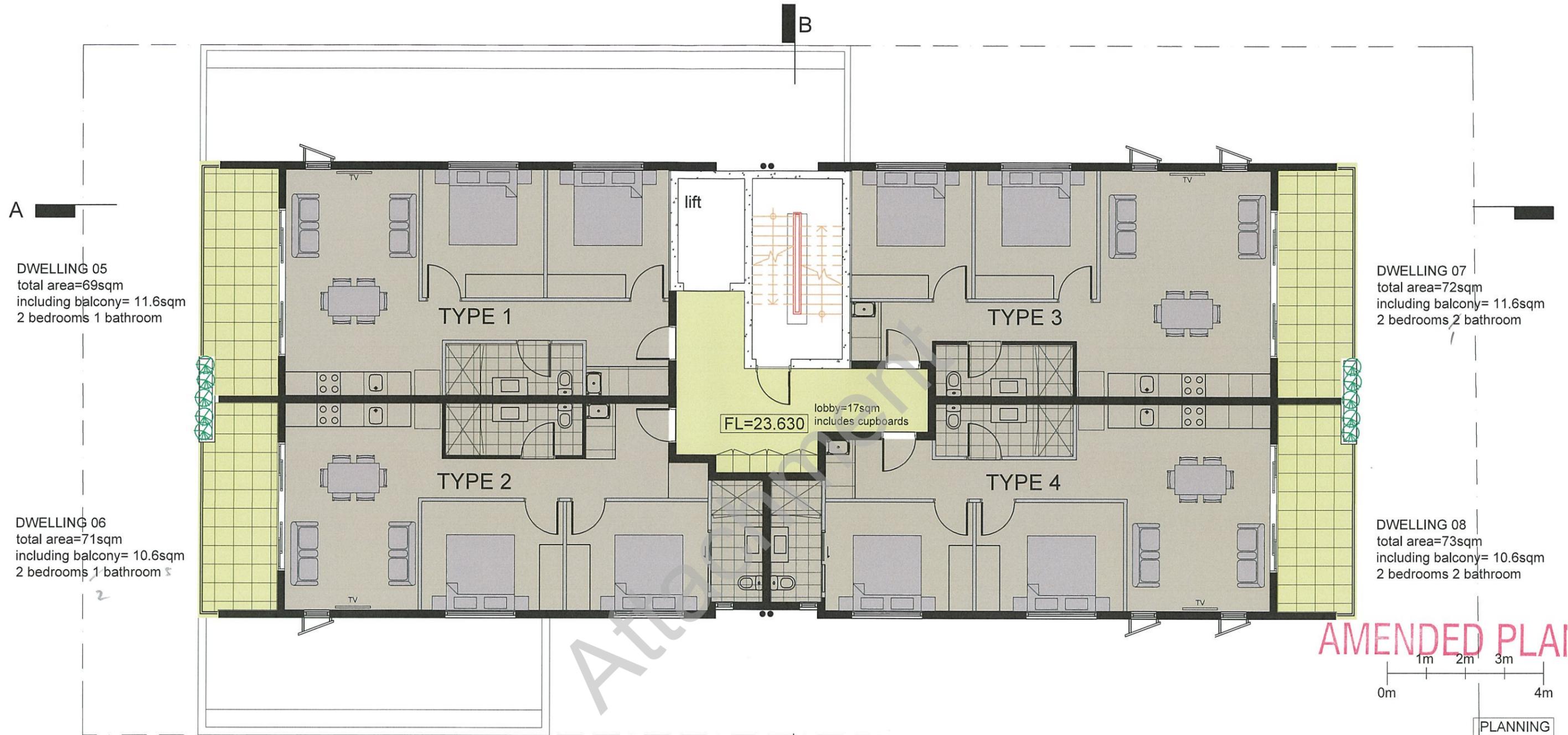
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE FLOOR PLANS	REV A	PAGE NO. PL202
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DWELLING 05
total area=69sqm
including balcony= 11.6sqm
2 bedrooms 1 bathroom

DWELLING 07
total area=72sqm
including balcony= 11.6sqm
2 bedrooms 2 bathroom

DWELLING 06
total area=71sqm
including balcony= 10.6sqm
2 bedrooms 1 bathroom

DWELLING 08
total area=73sqm
including balcony= 10.6sqm
2 bedrooms 2 bathroom

FL=23.630
lobby=17sqm
includes cupboards

AMENDED PLAN



PLANNING

LEVEL 2 FLOOR PLAN
SCALE 1:100@A3

- WALKWAYS AND BALCONIES
- INTERNAL DWELLING AREA
- LANDSCAPED AREA

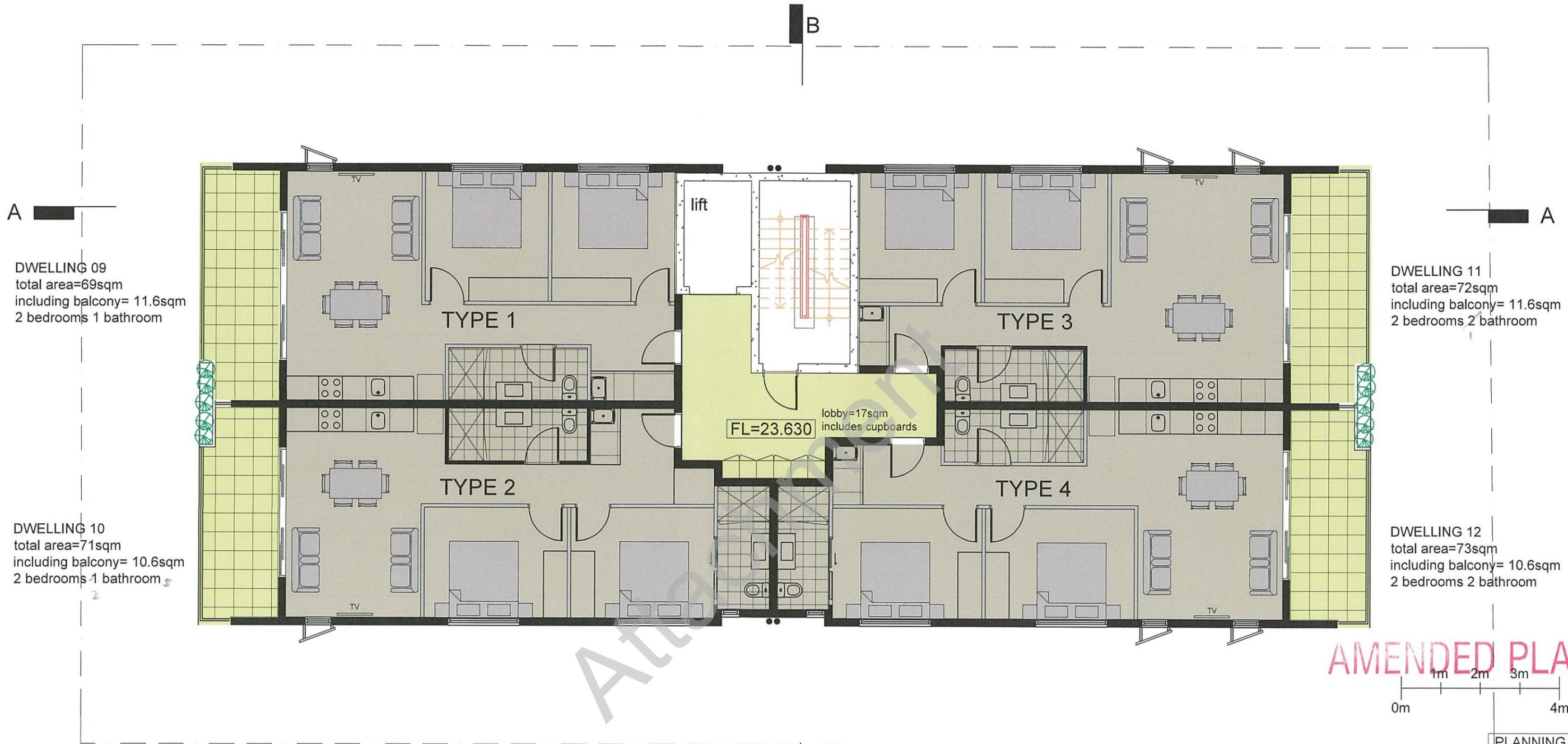
AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE	17 OCTOBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT

DRAWING TITLE	REV	PAGE NO.
FLOOR PLANS	A	PL203





DWELLING 09
total area=69sqm
including balcony= 11.6sqm
2 bedrooms 1 bathroom

DWELLING 11
total area=72sqm
including balcony= 11.6sqm
2 bedrooms 2 bathroom

DWELLING 10
total area=71sqm
including balcony= 10.6sqm
2 bedrooms 1 bathroom

DWELLING 12
total area=73sqm
including balcony= 10.6sqm
2 bedrooms 2 bathroom

FL=23.630
lobby=17sqm
includes cupboards

AMENDED PLAN



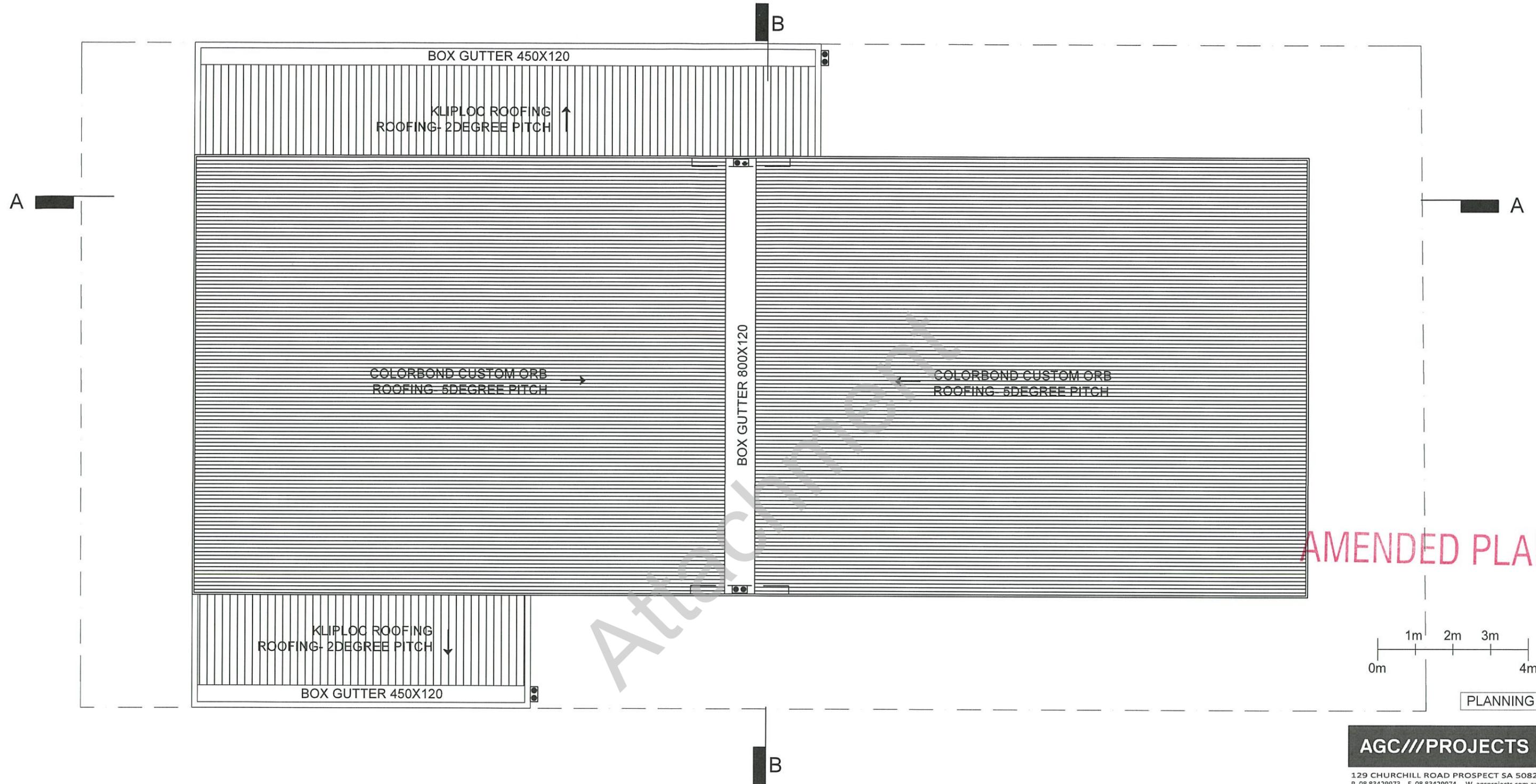
LEVEL 3 FLOOR PLAN
SCALE 1:100@A3

- CONSTRUCTION NOTES**
- EXTERNAL FLOORING WALKWAY
300X300 TILING
 - BEDROOM FLOORING
HARDWOOD FLOOR WITH CARPET INLAY
 - LIVING ROOM FLOORING
HARDWOOD FLOATING FLOOR
 - BATHROOM FLOORING AND WALLS
TIMBER LOOK TILING TO FLOOR
WHITE 300X300 TILING TO WALLS WITH MOSAIC INLAYS

- WALKWAYS AND BALCONIES
- INTERNAL DWELLING AREA
- LANDSCAPED AREA

AGC///PROJECTS		
129 CHURCHILL ROAD PROSPECT SA 5082 P. 08 83429973 F. 08 83429974 W. agcprojects.com.au		
DATE	17 OCTOBER 2016	
SCALE	AS NOTED @ A3	
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT	
PROJECT	9 ALLAN ST PROSPECT	
DRAWING TITLE	REV	PAGE NO.
FLOOR PLANS	A	PL204

PLANNING



ROOF PLAN
SCALE 1:100@A3

- ROOF CONSTRUCTION NOTES**
- COLORBOND CUSTOM ORB ROOFING ON 5DEGREE PITCH
 - COLORBOND SURFMIST TO ROOFSHEETING
 - COLORBOND MONUMENT TO FASCIAS AND GUTTERS
 - COLORBOND SURFMIST DOWN PIPES

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE 17 OCTOBER 2016

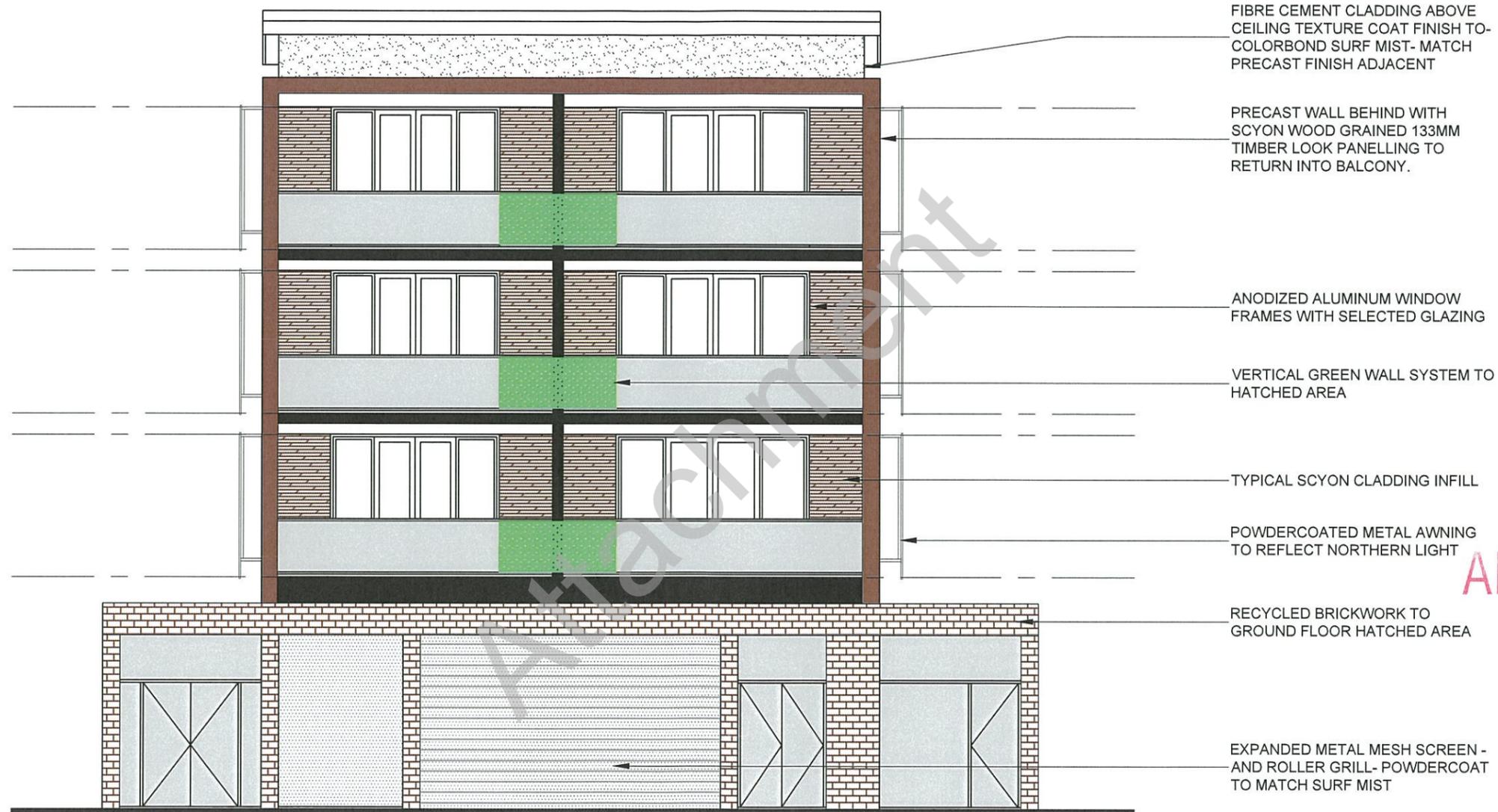
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROPSECT

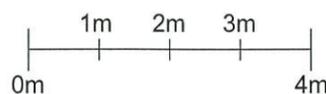
PROJECT 9 ALLAN ST
PROPSECT

DRAWING TITLE	REV	PAGE NO.
ROOF PLAN	A	SK206





AMENDED PLAN



PLANNING

NORTH ELEVATION
SCALE 1:100

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
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DATE 17 OCTOBER 2016

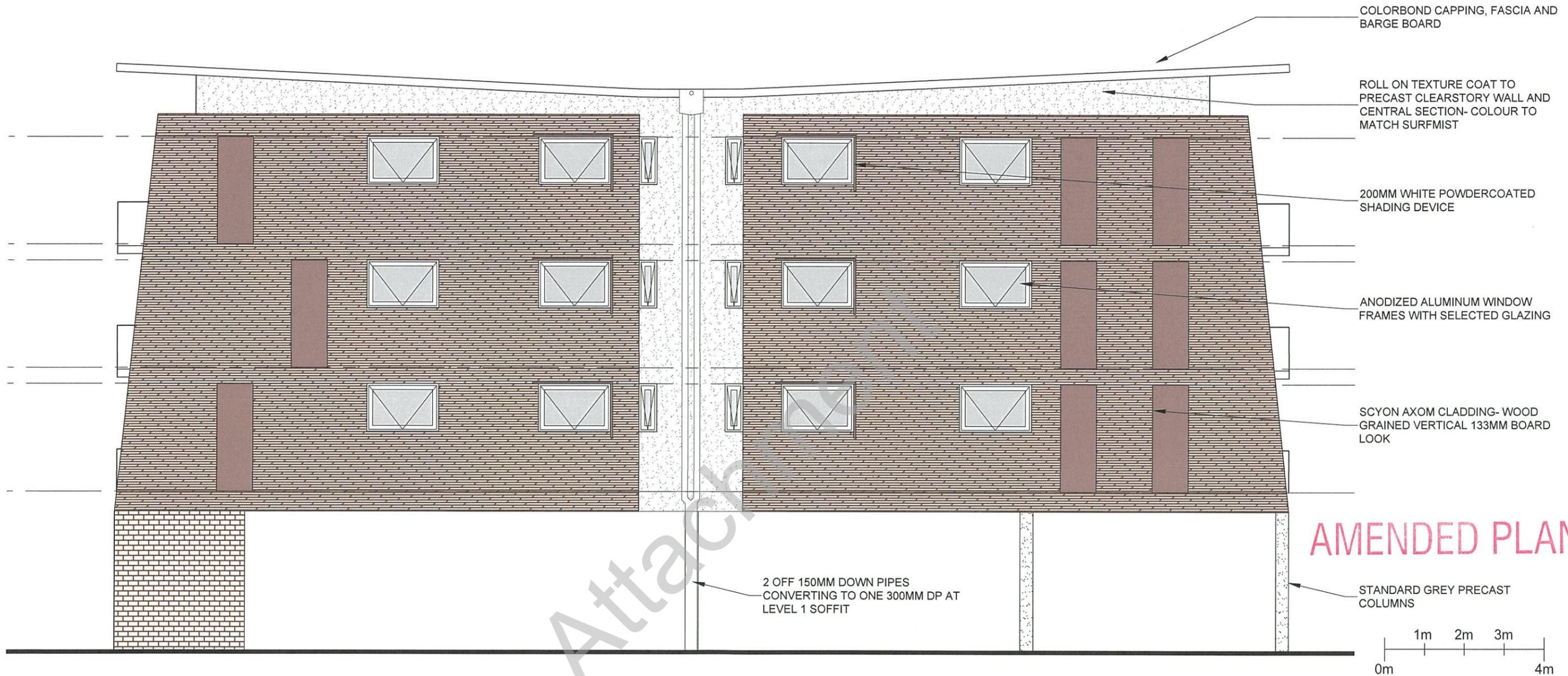
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROPSECT

PROJECT 9 ALLAN ST
PROPSECT

DRAWING TITLE	REV	PAGE NO.
ELEVATIONS	A	SK301





AMENDED PLAN

WEST ELEVATION
SCALE 1:100 @ A3

PLANNING

AGC///PROJECTS

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DATE 17 OCTOBER 2016

SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE	REV	PAGE NO.
ELEVATIONS	A	SK302





FIBRE CEMENT CLADDING ABOVE CEILING TEXTURE COAT FINISH TO-COLORBOND SURF MIST

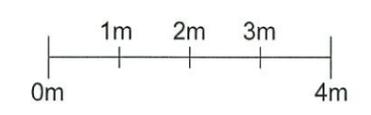
PRECAST WALL BEHIND WITH SCYON WOOD GRAINED 133MM TIMBER LOOK PANELLING TO RETURN INTO BALCONY.

ANODIZED ALUMINUM WINDOW FRAMES WITH SELECTED GLAZING

VERTICAL GREEN WALL SYSTEM TO HATCHED AREA

POWDERCOATED METAL ANGLED AWNING TO REFLECT NORTHERN LIGHT

AMENDED PLAN



PLANNING

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE 17 OCTOBER 2016

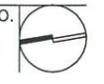
SCALE AS NOTED @ A3

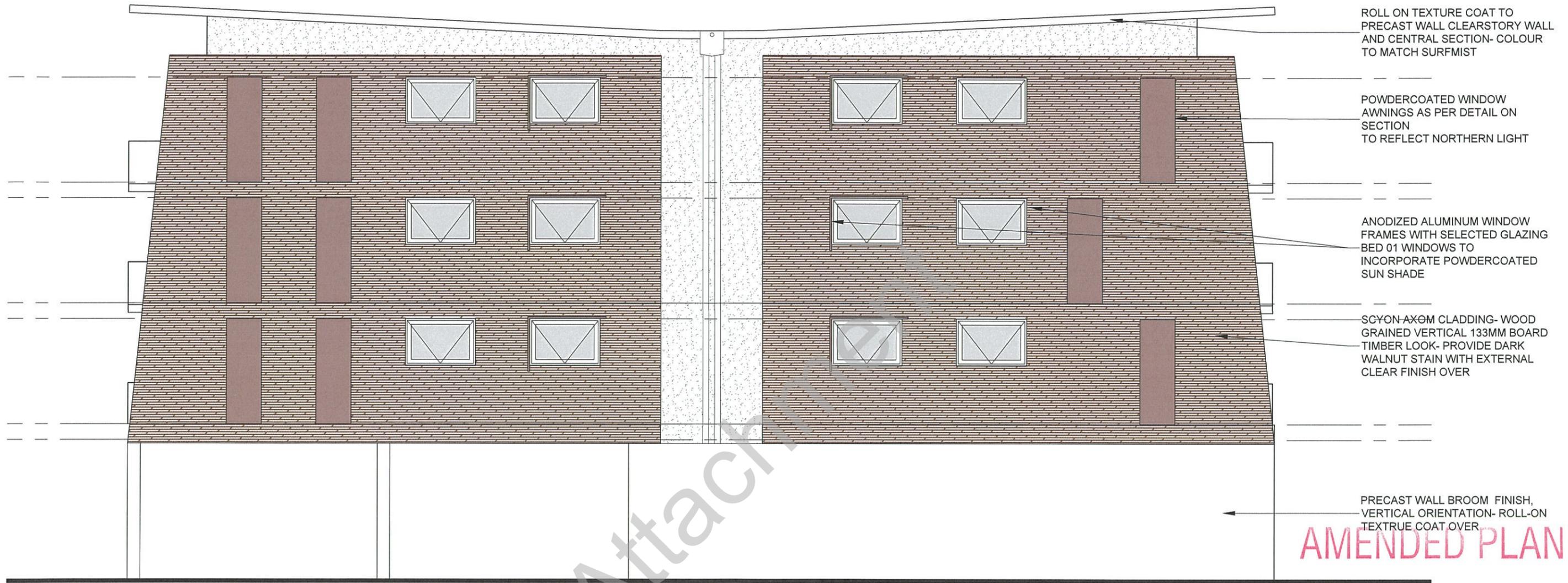
CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

SOUTH ELEVATION
SCALE 1:100 @ A3

DRAWING TITLE	REV	PAGE NO.
ELEVATIONS	A	SK303





ROLL ON TEXTURE COAT TO PRECAST WALL CLEARSTORY WALL AND CENTRAL SECTION- COLOUR TO MATCH SURFMIST

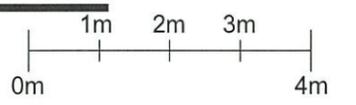
POWDERCOATED WINDOW AWNINGS AS PER DETAIL ON SECTION TO REFLECT NORTHERN LIGHT

ANODIZED ALUMINUM WINDOW FRAMES WITH SELECTED GLAZING BED 01 WINDOWS TO INCORPORATE POWDERCOATED SUN SHADE

SCYON AXOM CLADDING- WOOD GRAINED VERTICAL 133MM BOARD TIMBER LOOK- PROVIDE DARK WALNUT STAIN WITH EXTERNAL CLEAR FINISH OVER

PRECAST WALL BROOM FINISH, VERTICAL ORIENTATION- ROLL-ON TEXTURE COAT OVER

AMENDED PLAN



EAST ELEVATION
SCALE 1:100 @ A3

PLANNING

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
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DATE 17 OCTOBER 2016

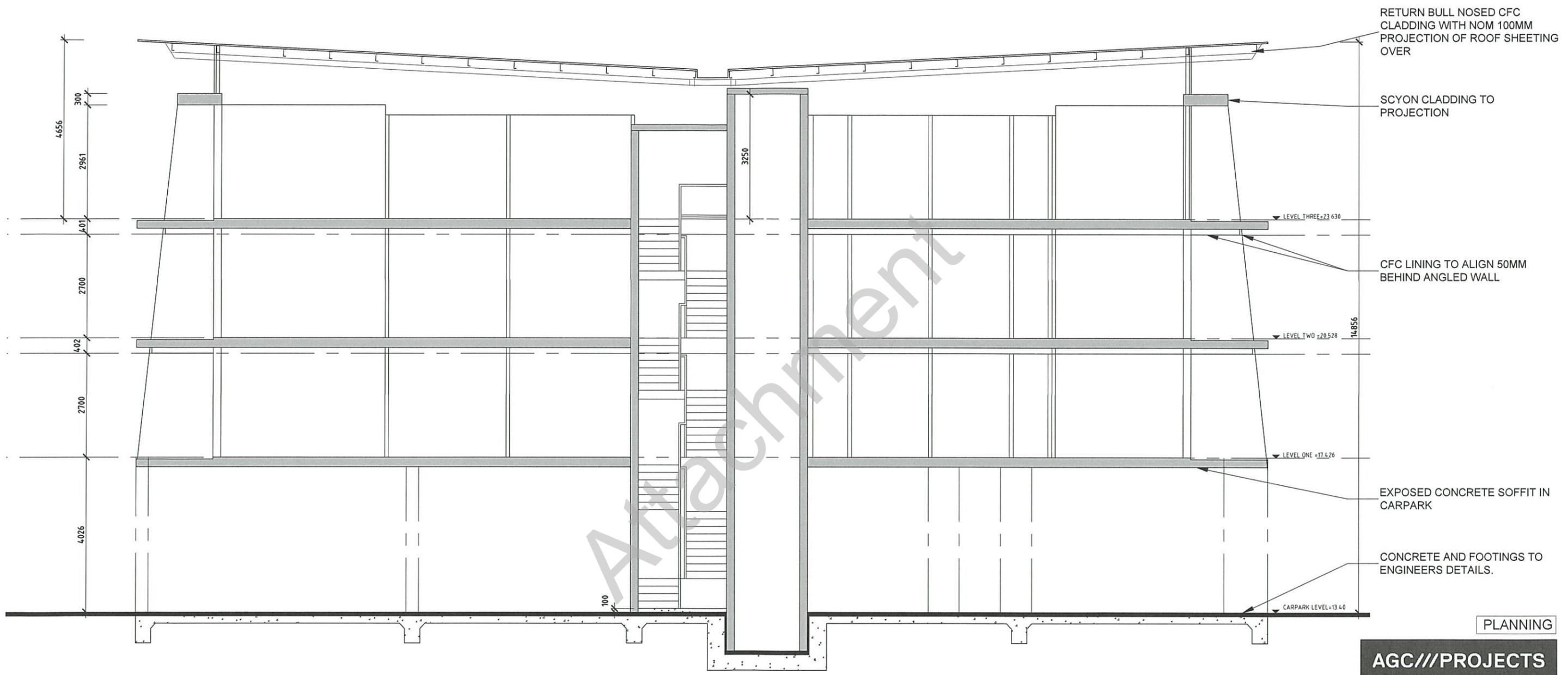
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROPSECT

PROJECT 9 ALLAN ST
PROPSECT

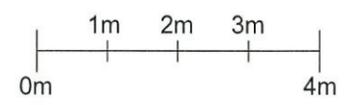
DRAWING TITLE	REV	PAGE NO.
ELEVATIONS	A	SK304





SECTION A-A
SCALE 1:100 @ A3

AMENDED PLAN



PLANNING

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE 17 OCTOBER 2016

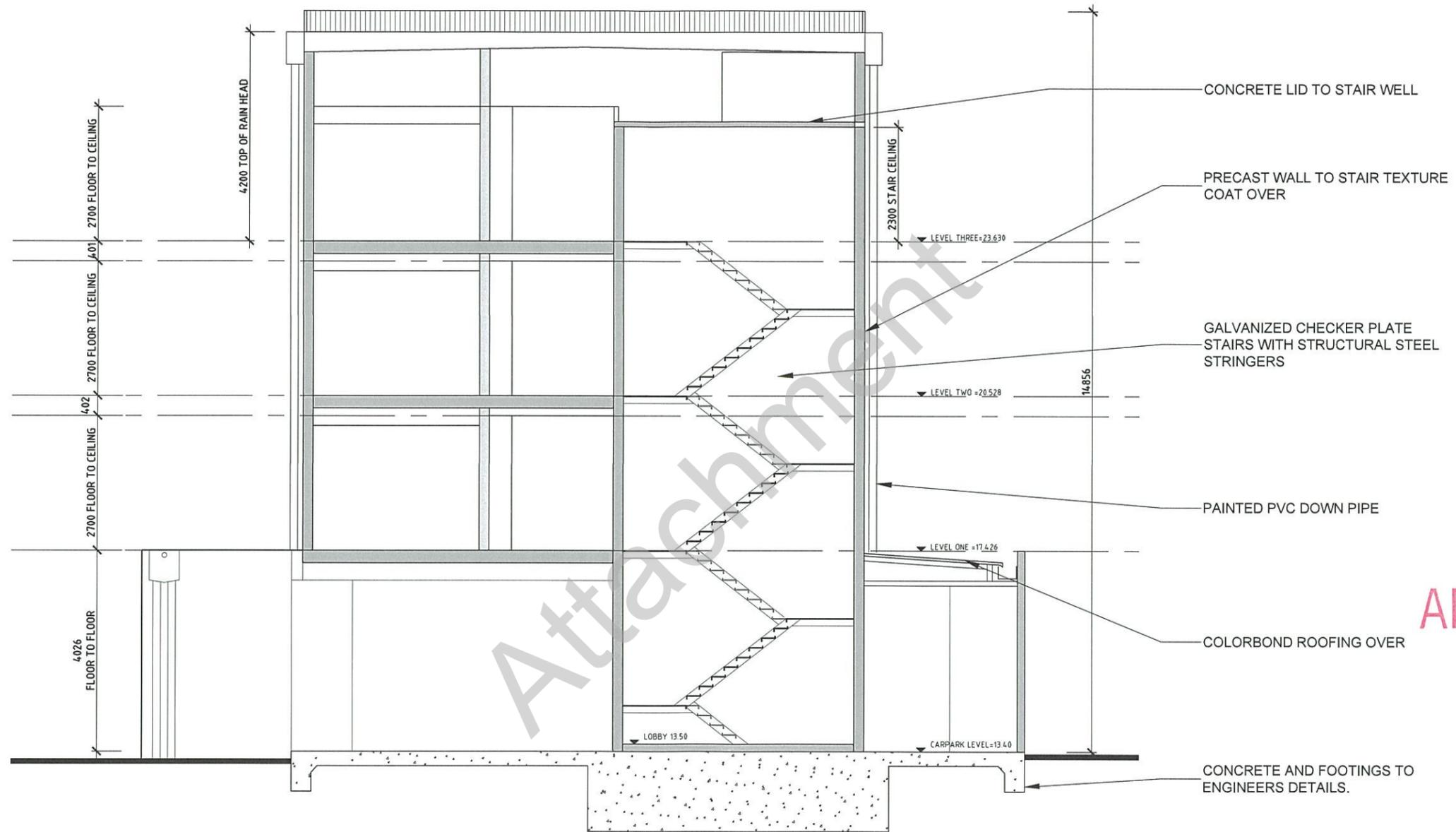
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

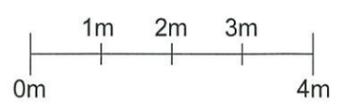
PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE	REV	PAGE NO.
SECTIONS	A	SK501





AMENDED PLAN



SECTION B-B
SCALE 1:100 @A3

PLANNING

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE 17 OCTOBER 2016

SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE	REV	PAGE NO.
SECTION B-B	A	SK502



10th October 2016

City of Prospect
Development Services
128 Prospect Road
Prospect SA 5082

Attention: Carly Bunce

Dear Carly

DESIGN REVIEW: 9 Allan Street, Prospect

This Design Review has been prepared following an observational site visit undertaken from the street and detailed analysis of the drawings supplied. Comments made relate to design quality in the context of the ten criteria outlined by the City of Prospect Council. It is within this framework that I offer the following comments:

Context

Good design responds and contributes to its context. Context can be defined as the key natural and built features of an area.

The proposed development is situated in a street of predominantly single storey (with occasional two storey) detached dwellings with diverse pitched roofs, overhanging eaves and a variety of materials and colours. Allan Street is a small scale, well vegetated street dominated by the four storey development on the corner of Allan Street and Churchill Road.

The height of the proposal, at four storeys, is at odds with the prevailing character of the area and although it responds positively to the desired character for this area which seeks heights up to four storeys, due to the relatively narrow nature and short length of Allan Street, it is my view that the proposal will dominate its context. The building on the corner of Churchill Road and Allan Street demonstrates how such developments can dominate their surroundings although the effect of that particular development is mitigated by its corner position and the fact that it also addresses Churchill Road.

It is not noted that the proposed front setback is less than the adjacent buildings' setbacks and will in fact be closer to the street than any other building along Allan Street except for the four storey building which, due to its position on a corner block, one could argue is able to manage lesser setbacks more effectively. There is also no increase in street setback to any of the upper floors – effectively presenting a sheer façade to the street. In addition the development will appear as a boundary to boundary development at ground floor level which is also inconsistent with the context.

The proposed brickwork at ground level assists in reducing the impact of the development as it relates to the domestic vernacular, offers texture and breaks down the scale of the façade. The “base” which is expressed in the adoption of a change in materials at ground floor, aligns with the single storey dwellings either side of the proposal and this is supported.

Considering the existing context of this relatively small street and future desired character, it is my opinion that the building will dominate in the street and it is suggested that the front setback is increased, the upper floor front setbacks are increased (progressively increasing with the building height) and the side walls do not extend to the street side of the balconies and no further than the external walls of the apartments. These measures, if undertaken, will assist in reducing the building's dominance and enable a more comfortable "fit" in this small scale street.

Scale

Good design provides an appropriate scale in terms of building height relative to width of the street and height of surrounding buildings.

The four storey nature of the development results in an overall scale which is at odds with the surrounding buildings and width of the street and although the Development Plan contemplates development at this height, there is a clear desire for the scale of such proposals to be sensitively handled to ensure developments to not dominate their surroundings. By increasing the street setback and reducing the extent of side walling (as mentioned above), not only will the contextual design be assisted but so too will the incongruity of scale, thus reducing the dominance of the building.

It also appears that the overall height of the building is greater than is necessary with the floor to roof height of the upper level proposed to be 4.856m. This is seen to be excessive and does little to reduce the building's overall sense of scale.

The Development Plan seeks a "pedestrian scale at street level" and built forms which, "...provide transition down in scale and intensity at the zone boundary." The change in materials proposed at ground level provide a pedestrian scale at street level and the upper side setbacks proposed provide a sense of transition in scale to the adjacent buildings.

It is noted that scale can also be addressed through roof form, the size of building component used, architectural detailing etc, and in this proposal, the brick proposed on the northern elevation and simple detailing throughout assist to a degree.

Built Form

Good design achieves an appropriate built form for a site and the building's purpose, in terms of building alignments, proportions, building type and the manipulation of building elements.

The built form is simple, consisting of a three storey component on a single storey base. The east and west facades display little articulation and although the side setbacks help reduce the impact of these walls, the applicant is encouraged to consider further modulation of these facades during the detailed design stage of the project with, for example deeper window reveals, shading devices or sensitively handled material junctions etc.

Generally there is a good balance of articulation of form and material application as well as an appropriate level of consideration for aesthetic and functional requirements.

The policy area seeks form which has clearly distinguishable base, middle and upper components as well as articulated facades, sheltered human scaled building entrances and

form which encourages active street frontages and the proposal goes a long way to address these requirements.

Density

Good design has a density appropriate for a site and its context in terms of dwelling yields (or number of units or residents).

The proposal demonstrates a good density for the site with twelve apartments proposed and is deemed an appropriate response for the site considering the intentions of the Plan.

Resource, Energy and Water Efficiency

Good design makes efficient use of natural resources, energy and water throughout its full life cycle, including construction.

No specific information has been supplied regarding the sustainability of materials proposed, energy use or generation and other sustainable initiatives.

However, apartments are dual aspect and provide the opportunity for cross ventilation and no internal rooms are proposed (except bathrooms). In addition, some recycled brickwork is proposed which saves almost all of the embodied energy in the bricks that could otherwise be wasted. These are seen as positive aspects of the proposal.

Conversely, half of the apartments will have balconies which will be shaded for the majority of the time and these apartments will have no northern aspect. Given the orientation of the block and the adjacent properties, it is difficult to fully address these issues but it is recommended the applicant consider the effects of the layout proposed.

Landscape

Good design recognises that together landscape and buildings operate as integrated and sustainable system, resulting in greater aesthetic quality and amenity for both occupants and the adjoining public domain.

There is very limited opportunity for landscaping in this proposal and this is seen as a negative aspect of the proposal. Some vertical landscaping is proposed to part of the northern balconies and there is some landscaping shown between the building and the street however it is strongly recommended that this is increased. This could be achieved by increasing the front setback to accommodate additional landscaping and it is recommended that at least one large tree is proposed in this area with a minimum planting height of at least two meters.

This is considered important, especially bearing in mind the character of the street and the intentions of the policy area.

Amenity

Good design provides amenity through the physical, spatial and environmental quality of a development

The general planning of the development is simple and successful with all apartments enjoying dual aspect, car parking which is hidden from the street and a ground floor commercial tenancy providing an opportunity for street interaction at this level.

However, the lack of northern orientation for many of the apartments is viewed as a problem and the relatively narrow balconies (they appear to be less than 2m wide) offer little in the way of useable outdoor space. The useability of the balconies is compounded since no other external spaces are provided either individually for each apartment or communally in the development, offering the opportunity for drying clothes or other outdoor activities. The photograph to the right shows how balconies might be difficult to use when they are narrow and when they are also used for drying clothes. Although possibly narrower in this example, none of the balconies show evidence of occupation (ie a chair, table or BBQ etc).

In addition if screening is required on the southern facing balconies to prevent overlooking to 53 Devonport Terrace, the useability and amenity of these balconies would be further reduced resulting in a very poor design outcome.

To counter, the relatively generous area for resident entry and lobby, the connection from the tenancy to the car park, the location of letterboxes and the provision of storage for the apartments are all supported.



Photograph showing unused narrow south facing balconies.

Safety and Security

Good design optimises safety and security both internal to the development and for the public domain.

The opportunity for passive surveillance of the street is provided at all levels and this is supported.

It is however recommended that high lighting levels be provided to the parking area and residents' entry and lobby space for increased safety. This is particularly important where the parking area is afforded little passive surveillance, as is the case here.

The access from the street to the lift / stair core is relatively well handled with generous corridor widths although an additional exit from the residents lobby to the car park (adjacent to car parking space 9) would assist in ensuring no dead ends or entrapment spots exist in this area. It is also recommended that the doors adjacent to the stair core/lift remain unlocked and ideally incorporate a glazed panel to allow visual permeability. Also suggested is for spy holes or glazed sidelights/vision panels to be incorporated at the apartment front doors.

Social dimensions

Good design responds to the social context and needs of the local community in terms of lifestyles, affordability and access to social facilities.

There is no variation of apartment type although in a relatively small development such as this, it is not seen as fatal to the proposal. In addition whilst there is no dedicated communal area for residents of the development, the tenancy on the ground floor goes some way to offer a communal space (albeit only if it is openable to the public, only when it is in fact open and only if residents buy items from the tenancy).

It is acknowledged that the lift which serves the development, offers choice for those who might find stairs difficult to negotiate – families with small children and the elderly. It is recommended that the applicant consider the adaptability and flexibility of the apartments and consider providing increased clearances (for corridors, bathrooms and in staircases for mobility aids etc).

Aesthetics

Quality aesthetics require the appropriate composition of building elements, textures, materials and colours and reflect the use, internal design and structure of the development.

The palette of materials and composition of building elements proposed results in an aesthetic which reflects the domestic nature of the use and the area's character and the approach is supported. The textures and colours proposed complement the existing context which is varied and the overall aesthetic presents as modest and contemporary.

The only reservation with regards to the materials relates to the scyon axom wood grained cladding which is proposed extensively. The applicant's design statement indicates that a timber look cladding has been proposed to reflect an Australian vernacular and whilst the approach is supported, it is suggested that a timber look aluminium cladding system may be better suited to the project. This product requires less maintenance (no painting is required)

and has a high quality finish and whilst only available in timber colours (it is unclear from the plans submitted the specific colour proposed for the wood grain cladding), achieves the "timber look" preferred by the applicant and will, in my view, reflect a higher quality of design as encouraged by the Plan.



Photographs showing wood grain scyon cladding (left) and timber look aluminium (right).

In conclusion, the proposal demonstrates a well-considered design response to providing medium / high density housing in the Urban Corridor Zone. However there are concerns with how the development will "fit" in this particular street and on this particular site, considering context, scale and form relative to the character of Allan Street. Some aspects of the design also raise amenity concerns.

As described in the report, the proposal would benefit further from consideration of an increased front setback to all floors (progressively increasing with the building height) and ensuring the side walls do not extend beyond the external north and south walls of the apartments; a reduction in the building's overall height by reducing the floor to roof height of the upper level; addressing the lack of northern orientation to half of the apartments; increasing the amount / area for soft landscaping; increasing the width of the balconies and considering substituting scyon axon cladding with timber look aluminium cladding.

In addition the applicant is encouraged to consider the potential for the adaptability, flexibility and sustainability of the homes; providing communal space for clothes drying or a space in the apartments which can be used for clothes drying other than the balcony; providing high lighting levels in the parking and resident lobby areas; incorporating an exit from the residents lobby to the car park; and including spy holes or glazed sidelights/vision panels to apartment front doors.

Having reviewed the drawings and assessed the architectural merits of the proposal against the parameters of Council's design review policy, I have qualified support for the design of the proposal in its current form. However, I would strongly recommend that the proposal be improved through the design amendments as outlined above.

Yours sincerely



Jenny Newman
BA (Hons) Dip Arch (dist) MA

Drawings Reviewed:
Prepared by AGC Projects

- 00 - Cover Page Dated: Aug 2016
- 01 – Street Views Dated: Aug 2016
- 02 – Site Study Dated: Aug 2016
- PL100 – Site / demolition Plan Dated: 9th Feb 2016
- PL101 – Site Plan Dated: 9th Feb 2016
- PL201 – Ground Floor Plan Dated: 9th Feb 2016
- PL202 – First Floor Plan Dated: 9th Feb 2016
- PL204 – Third Floor Plan Dated: 9th Feb 2016
- PL206 – Roof Plan Dated: 9th Feb 2016
- PL301 – North Elevation Dated: 9th Feb 2016
- PL302 – West Elevation Dated: 9th Feb 2016
- PL303 – South Elevation Dated: 9th Feb 2016
- PL304 – East Elevation Dated: 9th Feb 2016
- PL501 – Section A-A' Dated: 9th Feb 2016
- PL502 – Section B-B' Dated: 9th Feb 2016

Attachment

AGC//PROJECTS

Design Review response 9 Alan St, Prospect

It is noted that generally the building is in keeping with the council objectives of the area and greater design principles.

The few items raised by Ms Newman that suggested addressing have been encapsulated below-

Context-

Setbacks, it is noted that the current building as currently designed has setbacks that are either equal to or greater than those required under *Setbacks from Road Frontages and Other Setbacks* Items 16,17 and 18 under *Urban Corridor Zone*. The side blade walls are setback progressively to expose the balconies to assist in reducing the perceived bulk.

Scale

It is noted that the current design reflects a height which is under the 15m maximum as prescribed in *Building Height* Item 13 under *Urban Corridor Zone*.

Built Form

Shading devices have been introduced for articulation and also to reflect northern light into the living areas.

Density

The current design reflects an appropriate density

Resource, Energy and Water Efficiency- Suggested ESD options

We believe, to maintain the appropriate density and amenity for the apartments this is the best orientation. The introduction of awnings to reflect north light back into the spaces has been incorporated. The system uses powdercoated metal to achieve a minimum emissivity rating of 0.2, which means that 80% of the light will be reflected back through the opening

The developer does intend, as a minimum to provide solar supported power to all public areas, and provide 1.2kW solar power systems as an option for early buyers.

Roof stormwater will be used to irrigate all planter boxes and landscaping with currently shown as above ground tanks located on ground level of the carpark.

Amenity-

The orientation of the site makes it difficult to achieve northern aspects in all situations; the southern apartments have reflective awnings incorporated, details outlined previously, to achieve some level of northern light exposure.

Balconies are typically over 11sqm in area which is in line with the amount prescribed in the *Principles of Development Control item 152* for a two bedroom apartment.

Clothes can be easily screened in an external environment behind the landscaping boxes, tables and chairs have been indicated on the plan.

Internal living areas range from 20sqm in the smallest case to 26sqm. The orientation of the living areas affords a sufficient area for sofas and a dining table, the sofa drawn is 800x1600mm the table is 800x1400mm. The design fits furniture of this size and scale which is suitable for a dwelling of this size. To assist in a greater amenity for the internal apartment spaces, ground floor storage and storage in the lobbies is provided for each apartment.

Aesthetics-

In our opinion Scyon is a better material having used both in the past.

The Scyon has the same texture, grain and undulation that timber has it is not a flat surface like aluminium. James Hardie gives it a 10+year warrantee the same if not more than most aluminium cladding suppliers.

The paint system used will be similar to timber, a *Sikkens* or similar stain in a dark walnut (as per the image on the render) with a clear weather resistant finish, we have been advised that this will hold for around 10years, after which IT CAN be repainted. Aluminium once applied cannot be repainted can only be removed and re-applied.

Car parking and traffic

FOURTEEN carparks have been provided, it is conceded that this is 1 park under the amount recommended under Table Pr/5, the design incorporates more enclosed secure storage in lieu of the extra visitor park, located behind the Hydrant/Booster enclosure. Car park access does not directly affect Churchill Rd.

Over shadowing

The shading diagrams can clearly show the development does not pose extensive over shadowing to the surrounding residences. Any overshadowing is well within the design recommendations outlined in *council wide design principle 78*.

Bin collection

Please refer to the waste management report attached; garbage collection will be managed by separate private contractors, with collection on site.

Bins will be regularly cleaned and maintained, coupled with education material, which will be issued as part of a waste management reduction protocol, and will educate residents on how to do their part to maintain the waste service system.

Noise

All apartments will comply with the Minister's Specification SA78b, Construction requirements for control of external sound, this will inherently mean the transfer of sound from the apartments to the external environment will be limited. Methods such as thickened glazing, higher density insulation to floors and walls will limit airborne sound to the surrounding areas.

Construction Noise

All construction contractors generally work within the EPA's recommended noise guidelines referred to on the information sheet EPA 425/14, it is the contractors general obligation to maintain noise within these levels.

This document states that general levels of below 45dbA and impact noises of below 60dbA, are standard before they affect neighbouring amenities.

Conclusion

The size and scale of the development is in line with the proposed future development of the area and ground floor materials assist in achieving consistency in the existing street scape context.

We believe the apartment amenity is suitable and it will assist in a higher quality life style for its users and neighbours, for a medium density residential development of in this location.

It has been designed with the Council wide Principles in mind, and sustainability as a focus.

Kind Regards

Yianni Moschou

AGC Projects

Document 1- Waste Management report- 9 Allan St

<p>Service frequency and Waste Volumes</p>	<p>General waste- 35ltr per bedroom per week Volume= 35x24=840 ltrs Bin size 2 off 660lts (1200Hx1360Wx770D) Frequency –once per week Dry recycling - 30ltr per bedroom per week Volume= 30x24=720 ltrs Bin size 2 off 660lts (1200Hx1360Wx770D) Frequency –once per week Organics- 20ltr per bedroom per week Volume= 20x24=480 ltrs Bin size 660lts (1200Hx1360Wx770D) Frequency –once per week</p>
<p>Storage, Location and movement</p>	<p>Bins will be stored in the ventilated bin enclosure, Bins will be collected on site, truck will back in and driver will push bins into the location and collect them, driver will have service access to building. Bins will be cleaned monthly and maintained by strata</p>

Waste management philosophy

- Liquid waste and organics recycled through a liquid waste plant
- Organics recycled through mulching services and other plant
- Dry Recycling processed though IWS plant or similar
- General Waste processed and remaining waste to sustainable land fill areas.
- Education material will be issued as part of the purchaser packs on settlement.
- E-WASTE collection by arrangement with Strata /Building management, sufficient area allowed for over spill.

- 00- Cover Page
- 01- Renders and materials
- 02- Site Study
- PL100- Demolition plan
- PL101- Site plan
- PL201- Ground floor site plan
- PL202- First Floor plan
- PL203- Second Floor plan
- PL204- Third Floor plan
- PL206- Roof plan
- PL301- North Elevation
- PL302- West Elevation
- PL303- South Elevation
- PL304- East Elevation
- PL401- Section 'A-A'
- PL402- Section 'B-B'



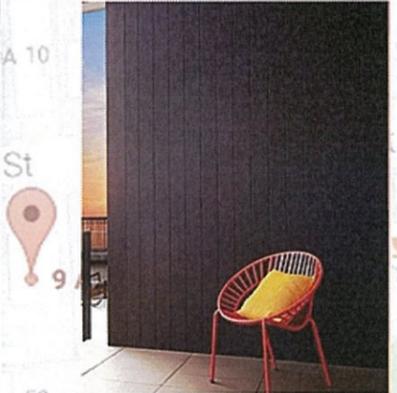
SUPERSEDED



Design principles-
 To create a solid textured ground floor podium by way of a rippled concrete finish. This gives way to an Australian vernacular theme at the levels above ground, by utilising a timber look cladding to the sides and balcony elevations. Eventually leading to a neutral toned clerestorey projection.



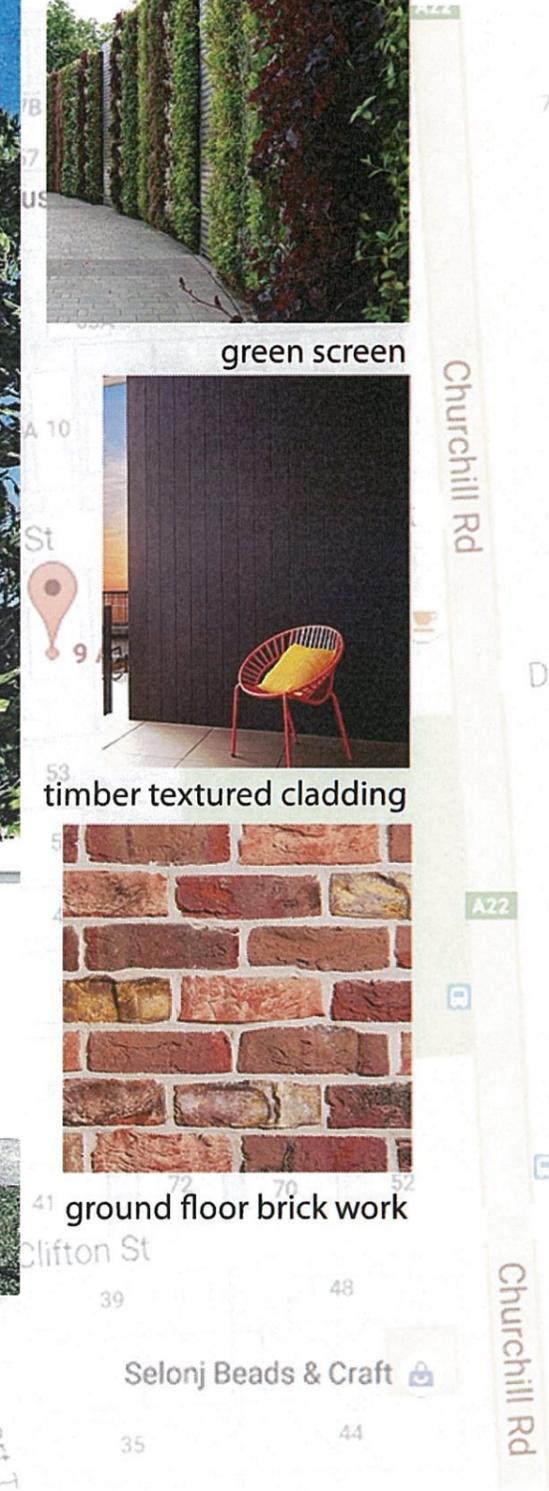
green screen

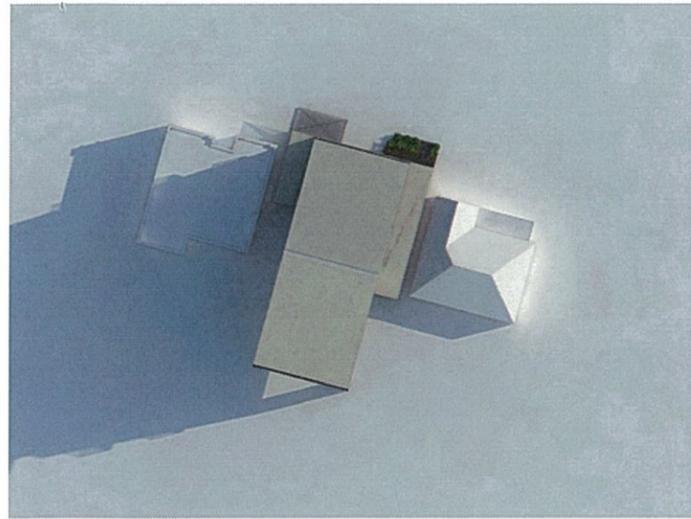


timber textured cladding

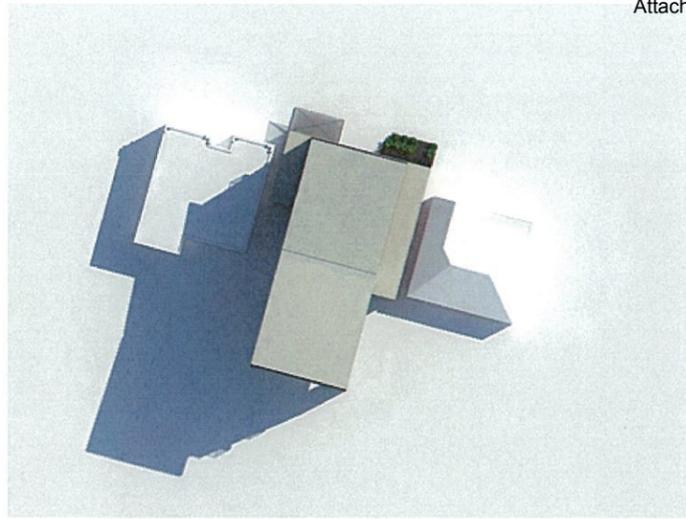


ground floor brick work

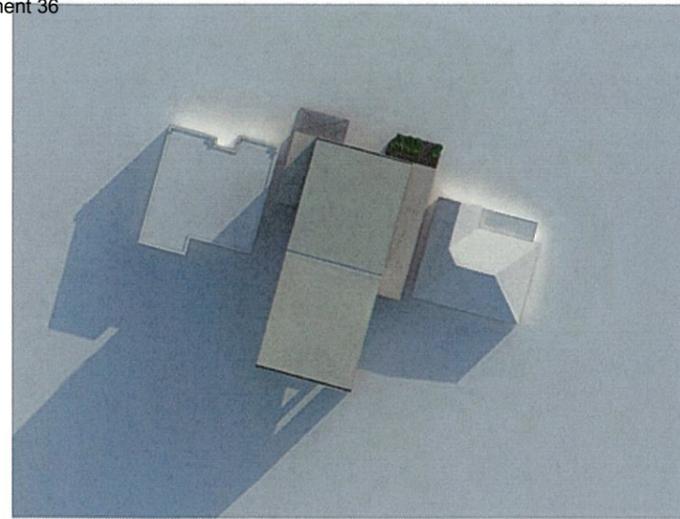




Autumnal Equinox- 9am

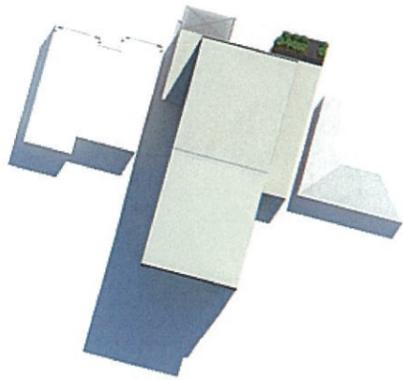


Spring Equinox- 9am

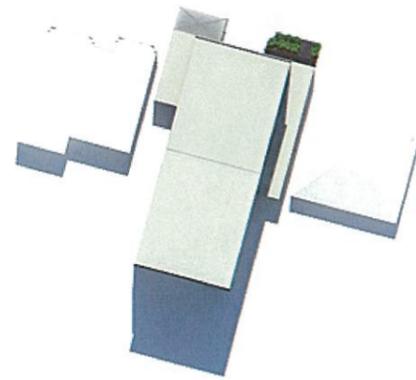


Winter Solstice- 9am

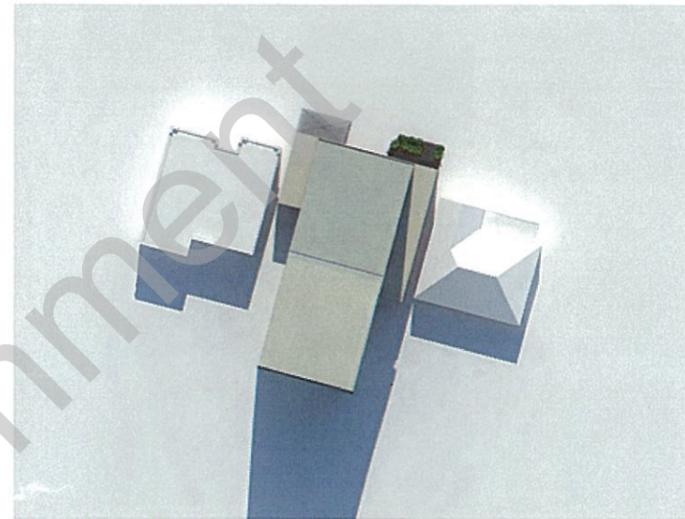
OVER SHADOWING IN BRIEF
-Design Technique 78.1 requires a minimum amount of consecutive sunlight during the winter solstice of two hours between 9am and 3pm. It is clear that both neighbouring properties get over 3hrs of consecutive sunlight to 100% of the existing POS between these times.



Autumnal Equinox- 12pm



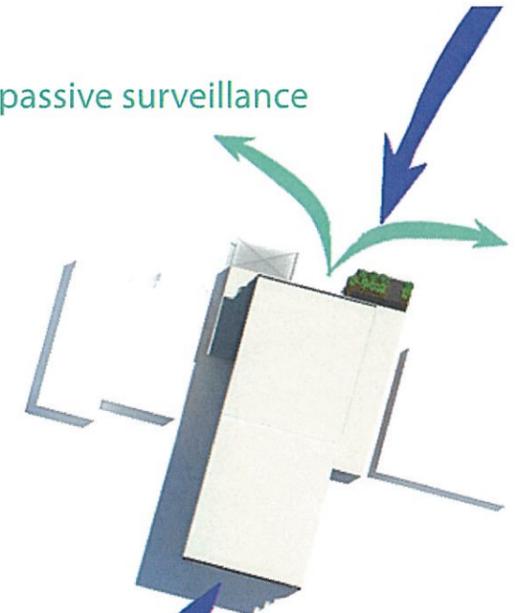
Spring Equinox- 12pm



Winter Solstice- 12pm

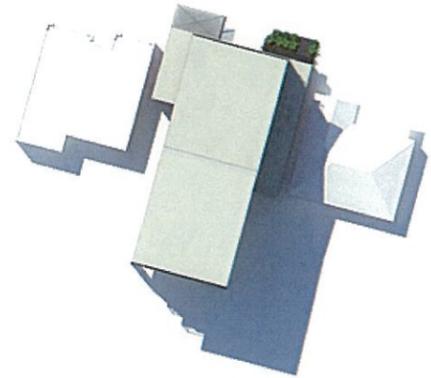
prevailing weather other months

passive surveillance

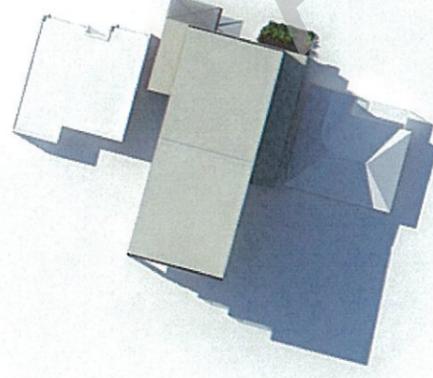


(SUPERSEDED)

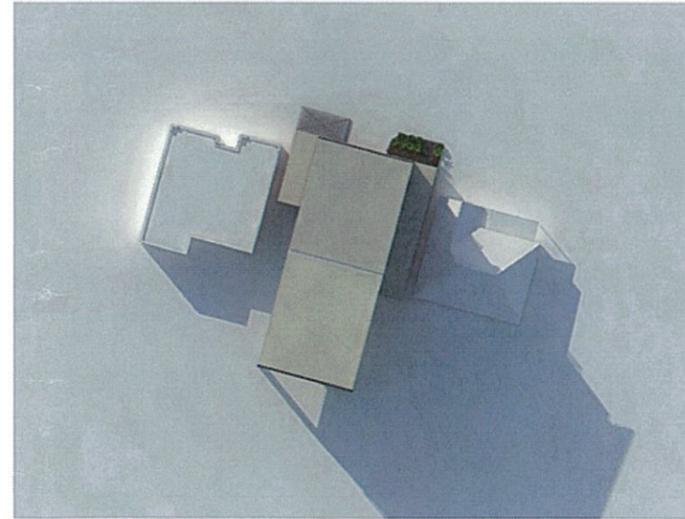
prevailing weather winter



Autumnal Equinox- 3pm

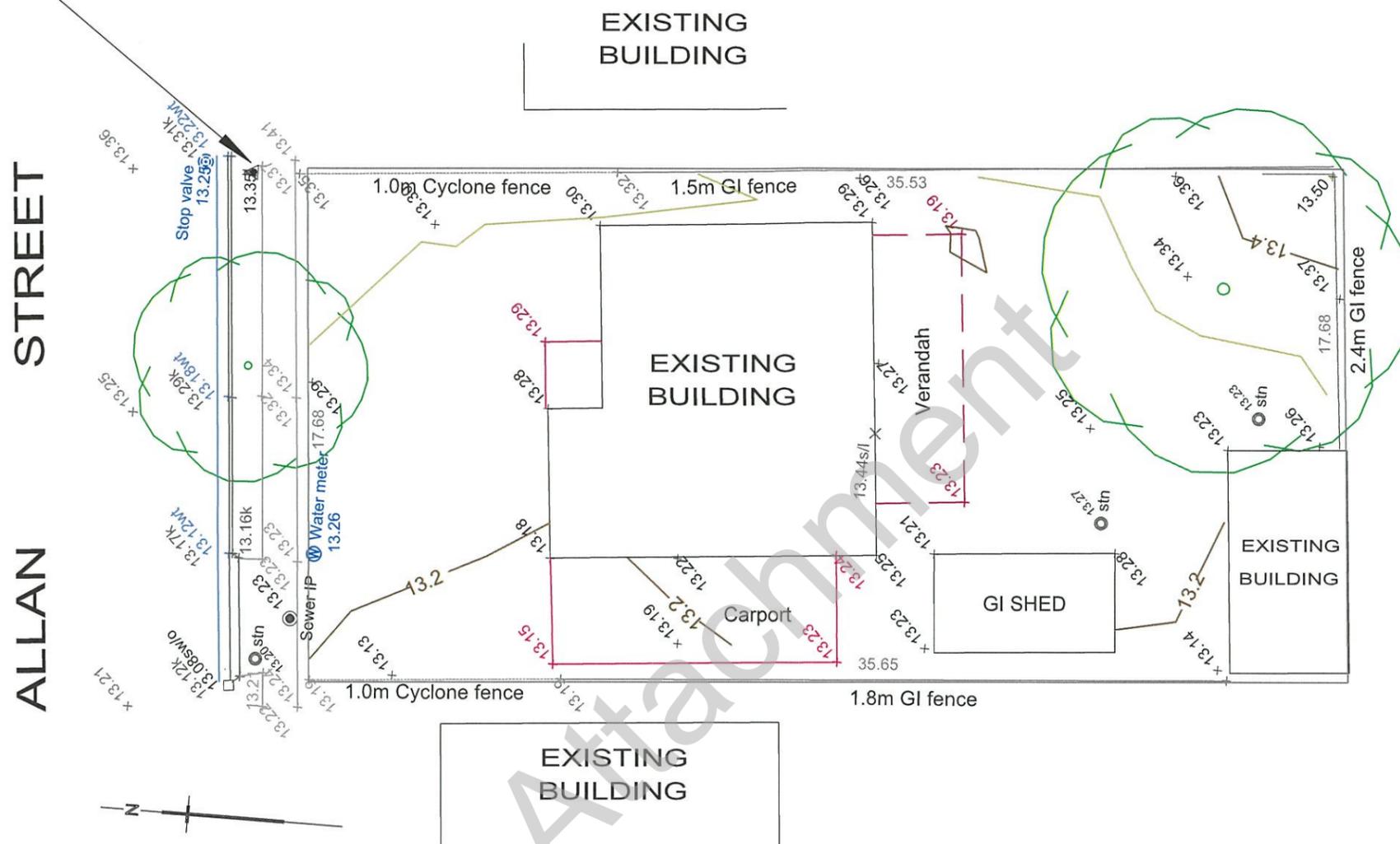


Spring Equinox- 3pm

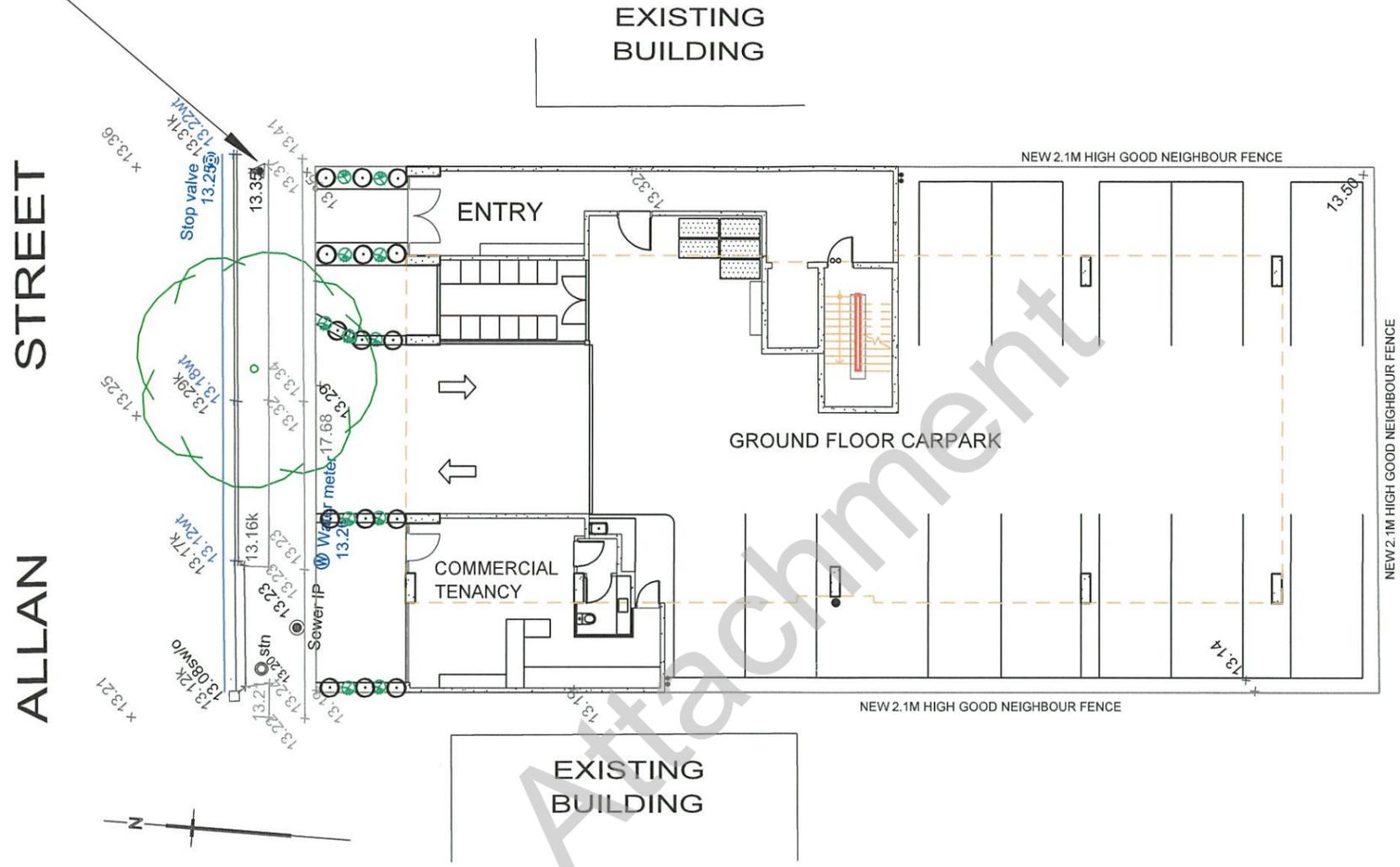


Winter Solstice- 3pm

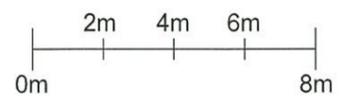
TBM : Top of the lowest bolt on the stobie pole
Adopted elevation = 13.77m AHD



TBM : Top of the lowest bolt on the stobie pole
Adopted elevation = 13.77m AHD



SUPERSEDED

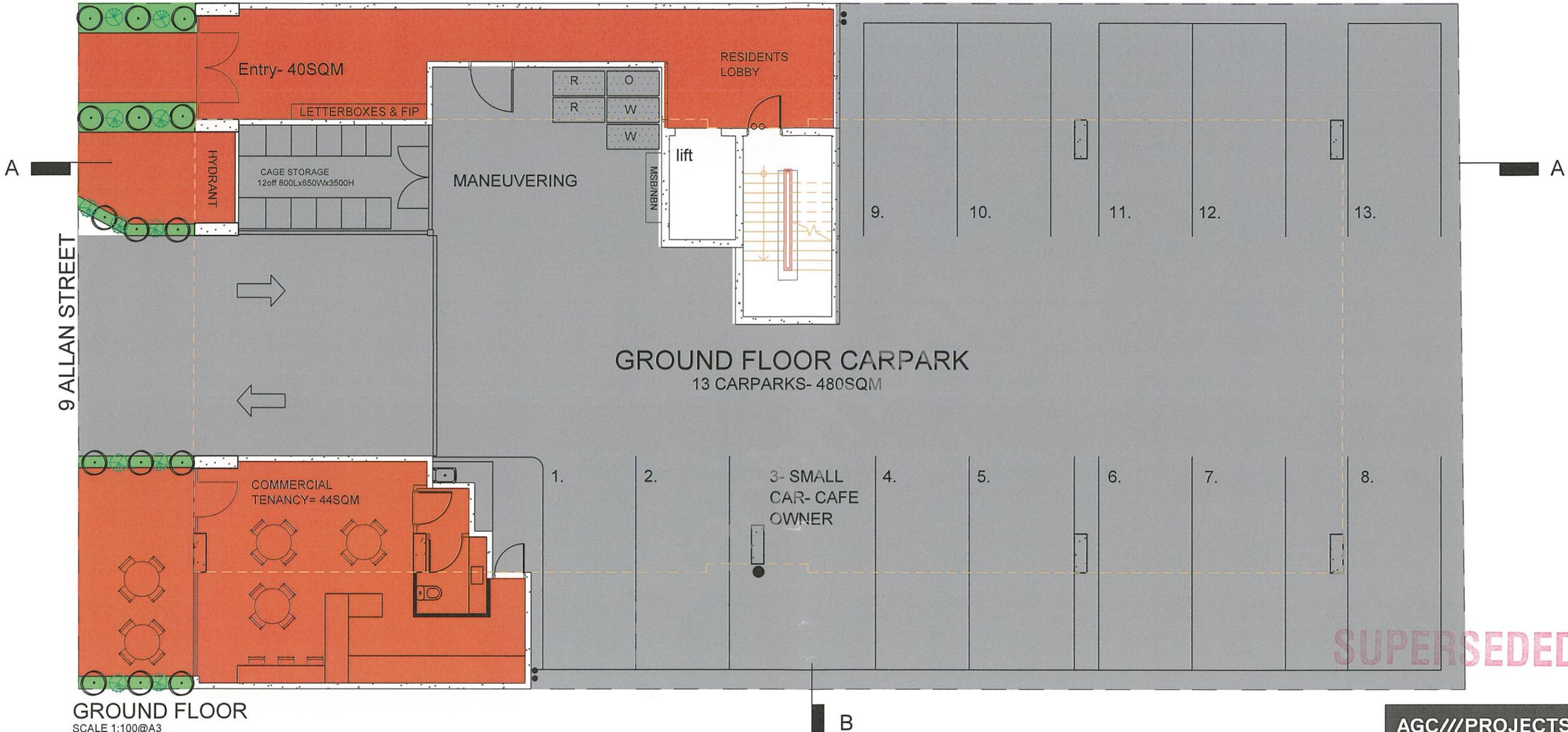


PLANNING

SITE PLAN
SCALE 1:200@A3

- LANDSCAPING**
TYPICAL GROUND COVER TO ALL LANDSCAPING BEDS
- CHRYSOEPHALUM- YELLOW BUTTON
 - CASURINA GLAUCA OVER EMBEDDED MOSS ROCK
 - WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
 - PLANT ONE ACMENA SMITHII 'HOT FLUSH' AT THE END OF EACH BED
 - PLANT ONE SEMI MATURE BRACHYCHITON POPULNEUS X ACERIFOLIUS 'AUBURN FLAME'
- REINSTATE ALL SURROUNDING PAVING AS REQUIRED
PROVIDE MULCH BASE TO PLANTERS
- LANDSCAPING PLANTER BOXES
 - PROVIDE A MIX OF
 - WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
 - OCIMUM AMERICANUM NATIVE BASIL
 - JASMINUM DALLACHII-SOFT JASMINE (CLIMBERS)
 - HARDENBERGIA COMPTONIANA- NATIVE LILAC (CLIMBERS)

AGC///PROJECTS	
129 CHURCHILL ROAD PROSPECT SA 5082 P. 08 83429973 F. 08 83429974 W. agcprojects.com.au	
DATE	9 FEBRUARY 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT
DRAWING TITLE	SITE PLAN
PAGE NO.	PL101



SUPERSEDED

GROUND FLOOR

SCALE 1:100@A3

CONSTRUCTION NOTES

-PARTITION WALLS

PLASTERBOARD DOUBLE STUD FIRE RATED WALL

-GROUND FLOOR COLUMNS

PRECAST CONCRETE

-EXTERNAL INFILL WALLING

STEEL STUD FRAME WITH PLASTERBOARD INTERNALLY WITH INSULATED COLORBOND WALL EXTERNALLY

ABOVE LEVEL 3 CEILING STEEL FRAMING WITH COLORBOND OVER

-INTERNAL PARTITION WALLING

NOM. 64MM STUD FRAME WITH 10MM PLASTER BOARD

-INTERNAL CEILING

13MM PLASTERBOARD ON SUSPENDED FRAME

-EXTERNAL CEILINGS

FLUSHED CFC SHEET ON SUSPENDED FRAME

SETDOWNS

-20MM SET DOWNS TO BATHS AND LAUNDRIES

-50MM SETDOWN TO WALKWAYS AND BALCONIES

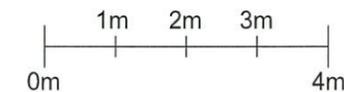
-FALL GROUND FLOOR SLAB TO MID LINE OF SLAB- GRADED BACK TO SUMPS EVERY 6-8M

STAIRS

STEEL STAIRS, LANDINGS AND HANDRAILS

CONSTRUCTION LOAD

-WALKWAY TO TAKE MOBILE LOAD UP TO TWO TONNES DURING CONSTRUCTION



PLANNING

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9 ALLAN STREET

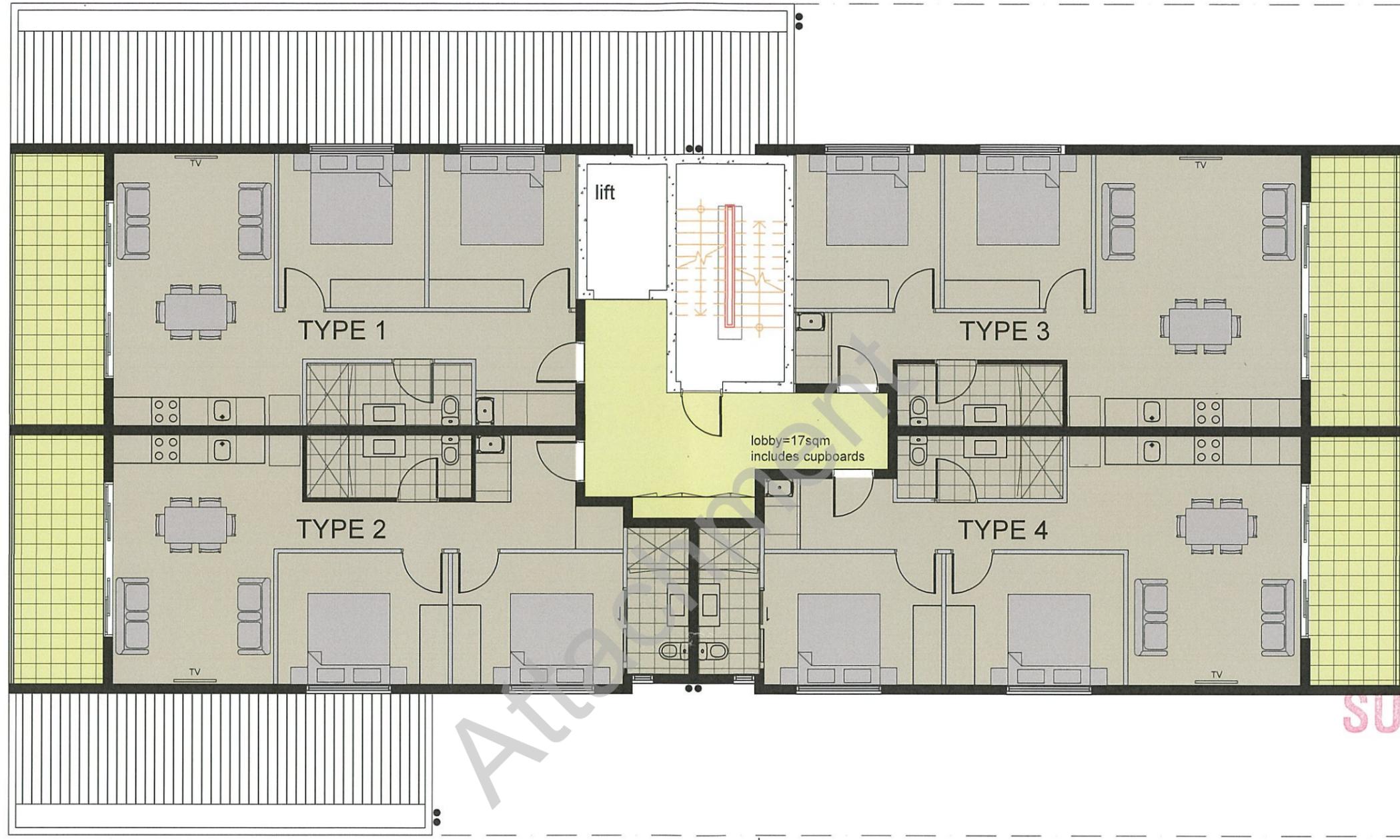
A

TYPE 1
total area=69sqm
including balcony= 11.6sqm
2 bedrooms 1 bathroom

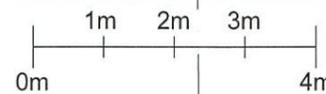
TYPE 2
total area=71sqm
including balcony= 10.6sqm
2 bedrooms 1 bathroom

TYPE 3
total area=72sqm
including balcony= 11.6sqm
2 bedrooms 2 bathroom

TYPE 4
total area=73sqm
including balcony= 10.6sqm
2 bedrooms 2 bathroom



SUPERSEDED

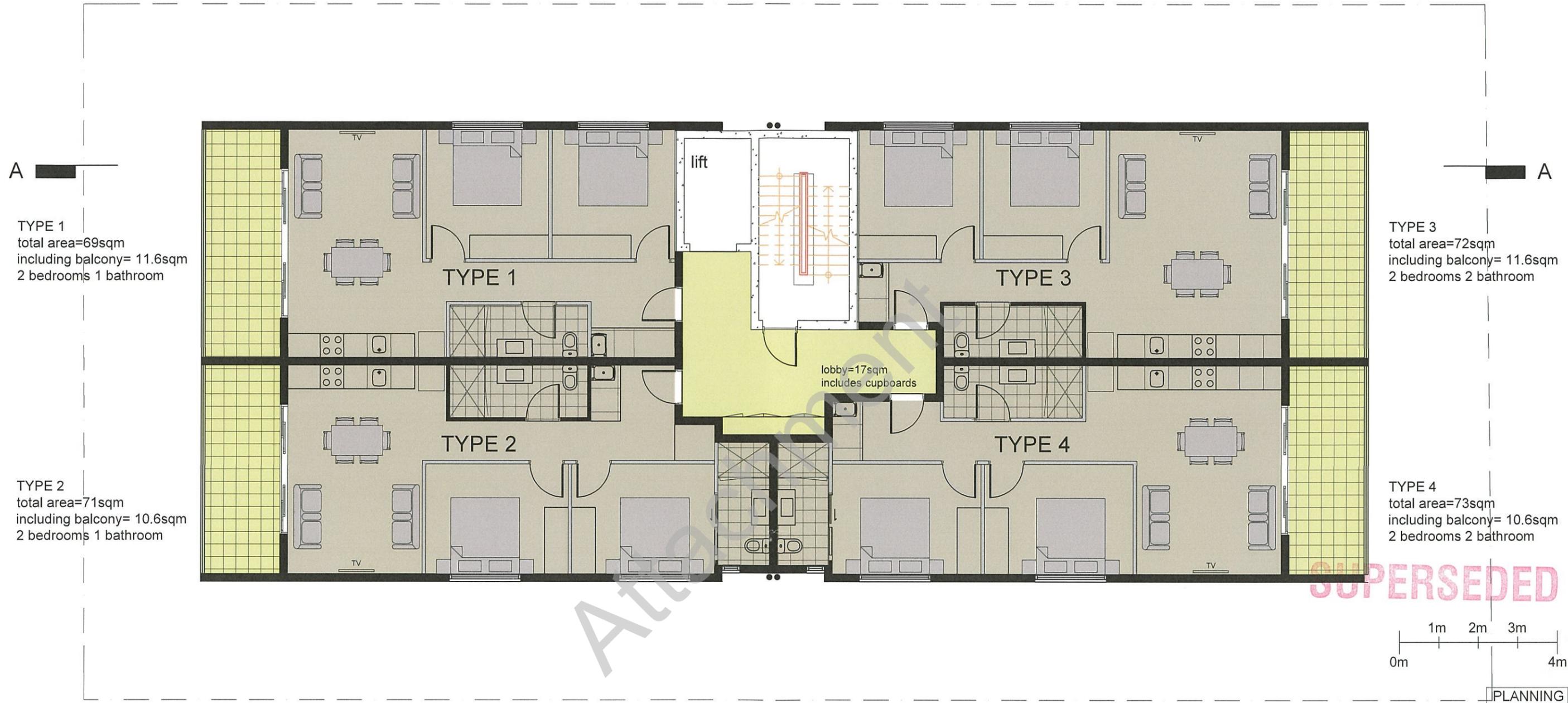


PLANNING

B

LEVEL 1 FLOOR PLAN
SCALE 1:100@A3

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DATE	9 FEBRUARY 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT
DRAWING TITLE	FLOOR PLANS
PAGE NO.	PL202



A

TYPE 1
total area=69sqm
including balcony= 11.6sqm
2 bedrooms 1 bathroom

TYPE 2
total area=71sqm
including balcony= 10.6sqm
2 bedrooms 1 bathroom

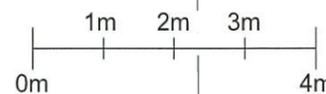
TYPE 3
total area=72sqm
including balcony= 11.6sqm
2 bedrooms 2 bathroom

TYPE 4
total area=73sqm
including balcony= 10.6sqm
2 bedrooms 2 bathroom

lobby=17sqm
includes cupboards

lift

SUPERSEDED



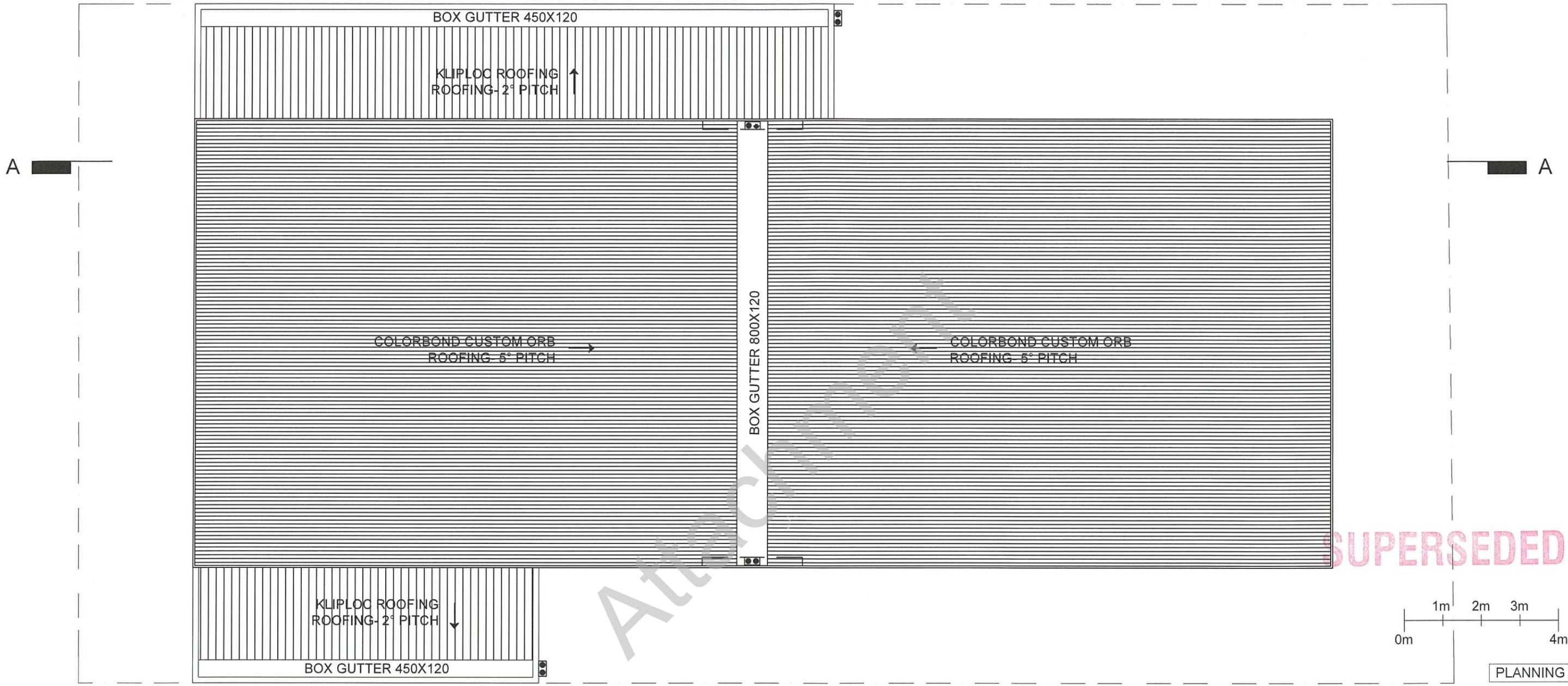
PLANNING

LEVEL 3 FLOOR PLAN
SCALE 1:100@A3

- CONSTRUCTION NOTES**
- EXTERNAL FLOORING WALKWAY
300X300 TILING
 - BEDROOM FLOORING
HARDWOOD FLOOR WITH CARPET INLAY
 - LIVING ROOM FLOORING
HARDWOOD FLOATING FLOOR
 - BATHROOM FLOORING AND WALLS
TIMBER LOOK TILING TO FLOOR
WHITE 300X300 TILING TO WALLS WITH MOSAIC INLAYS

B

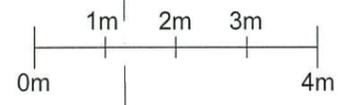
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PROJECT	9 ALLAN ST PROSPECT
DRAWING TITLE	FLOOR PLANS
PAGE NO.	PL204



ROOF PLAN
SCALE 1:100@A3

- ROOF CONSTRUCTION NOTES
- COLORBOND CUSTOM ORB ROOFING ON 5DEGREE PITCH
 - COLORBOND SURFMIST TO ROOFSHEETING
 - COLORBOND MONUMENT TO FASCIAS AND GUTTERS
 - COLORBOND SURFMIST DOWN PIPES

SUPERSEDED



PLANNING

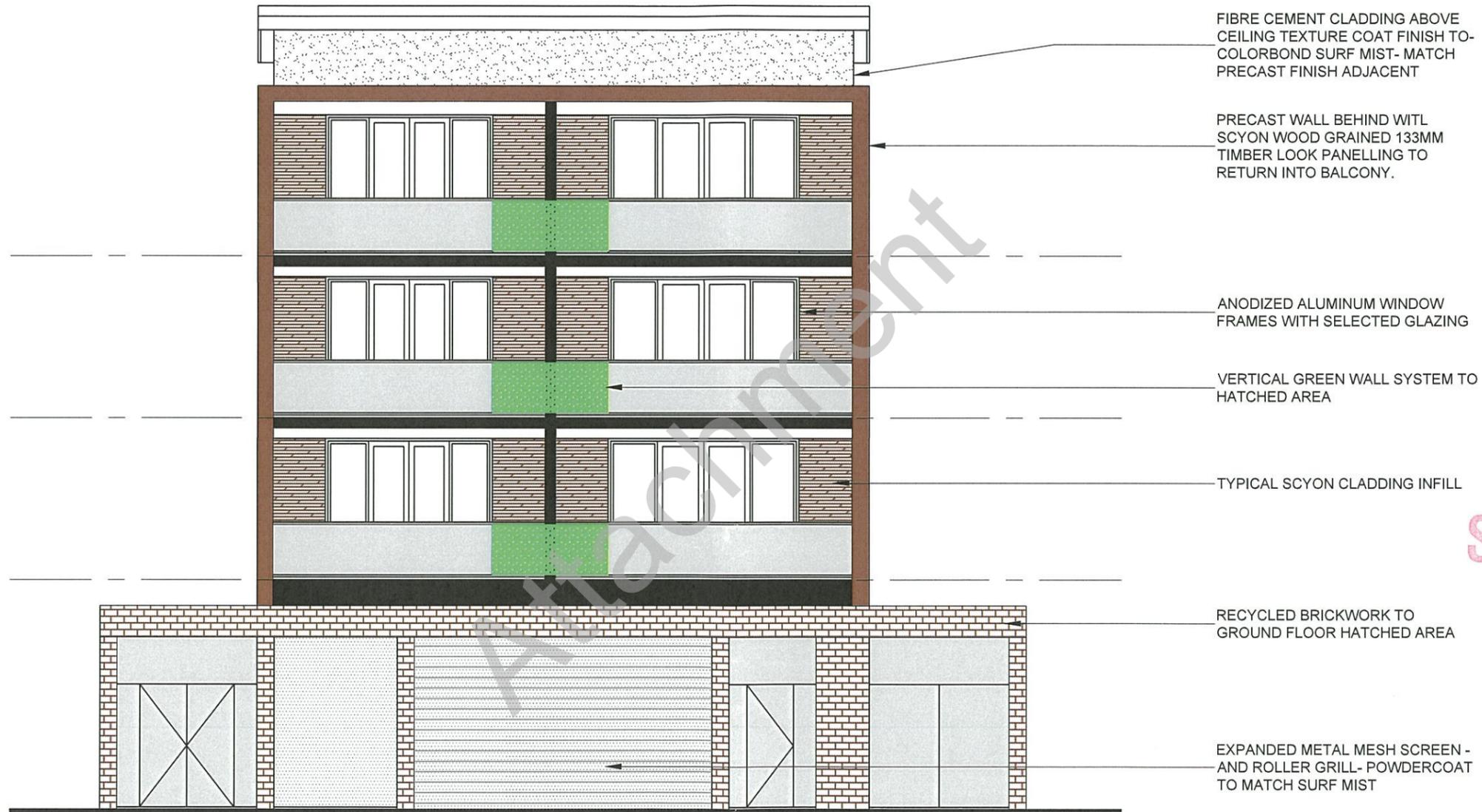
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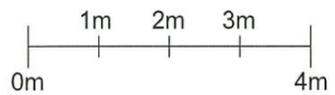
DATE	9 FEBRUARY 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROSPECT
PROJECT	9 ALLAN ST PROSPECT

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ROOF PLAN	SK206





SUPERSEDED



PLANNING

NORTH ELEVATION
SCALE 1:100

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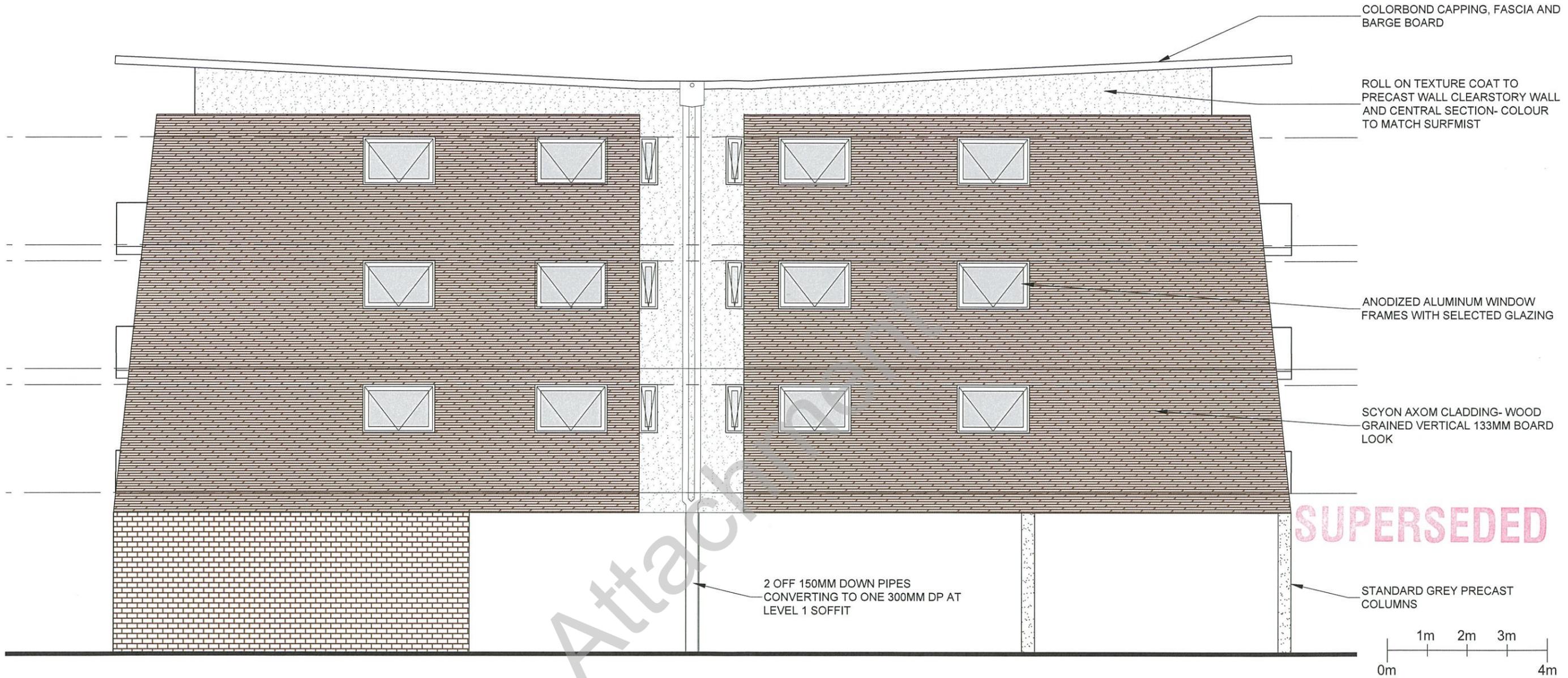
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE ELEVATIONS PAGE NO. SK301





WEST ELEVATION
SCALE 1:100 @ A3

SUPERSEDED

PLANNING

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129 CHURCHILL RD
PROPSECT

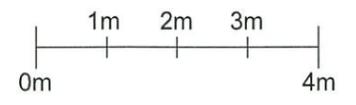
PROJECT 9 ALLAN ST
PROPSECT

DRAWING TITLE ELEVATIONS PAGE NO. SK302





SUPERSEDED



PLANNING

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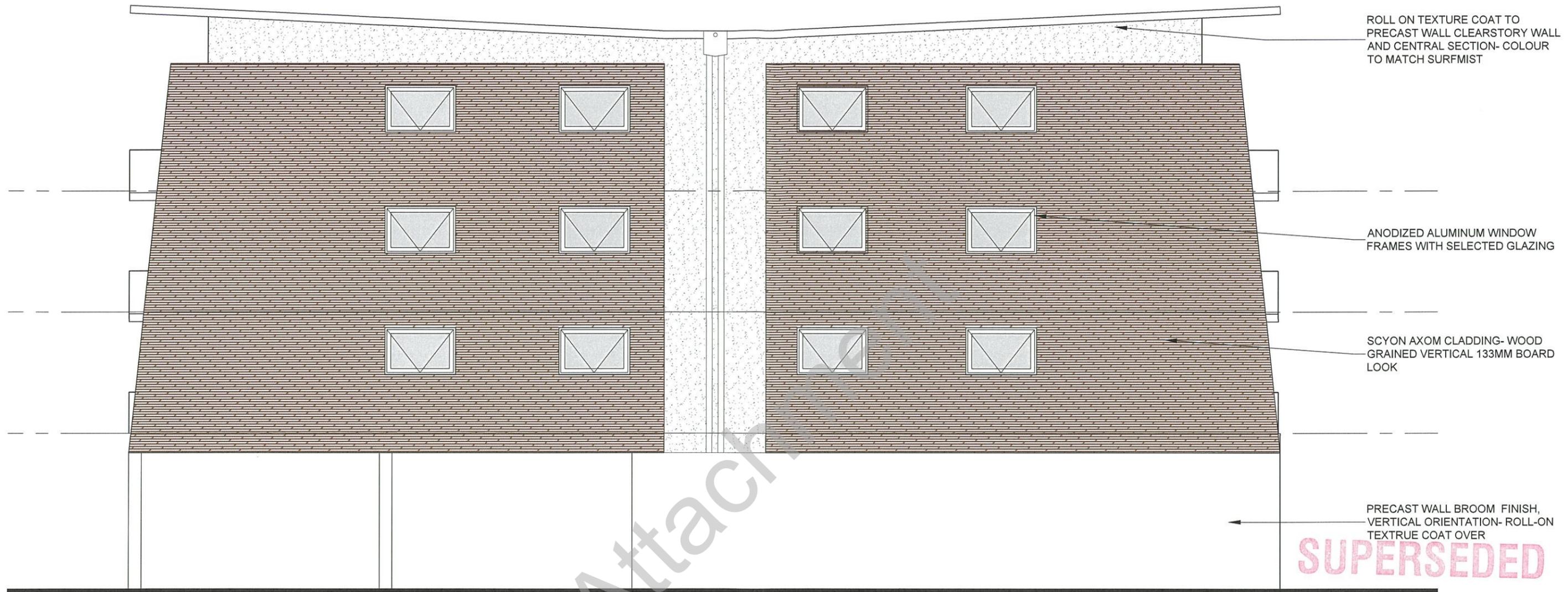
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CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

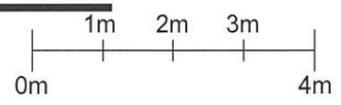
PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE	PAGE NO.
ELEVATIONS	SK303

SOUTH ELEVATION
SCALE 1:100 @ A3



SUPERSEDED



EAST ELEVATION
SCALE 1:100 @ A3

PLANNING

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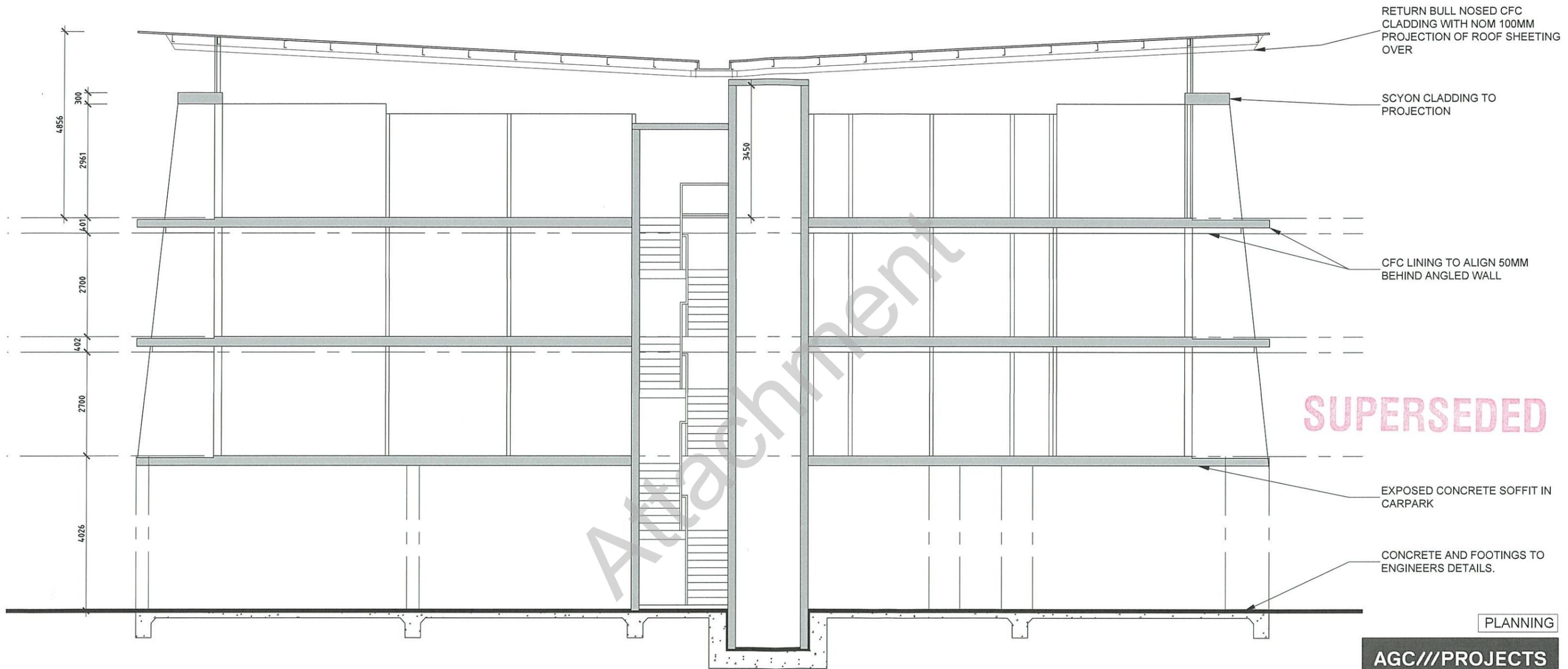
SCALE AS NOTED @ A3

CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

DRAWING TITLE ELEVATIONS PAGE NO. SK304





SECTION A-A
SCALE 1:100 @ A3

SUPERSEDED

PLANNING

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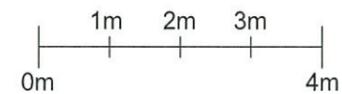
DATE 9 FEBRUARY 2016

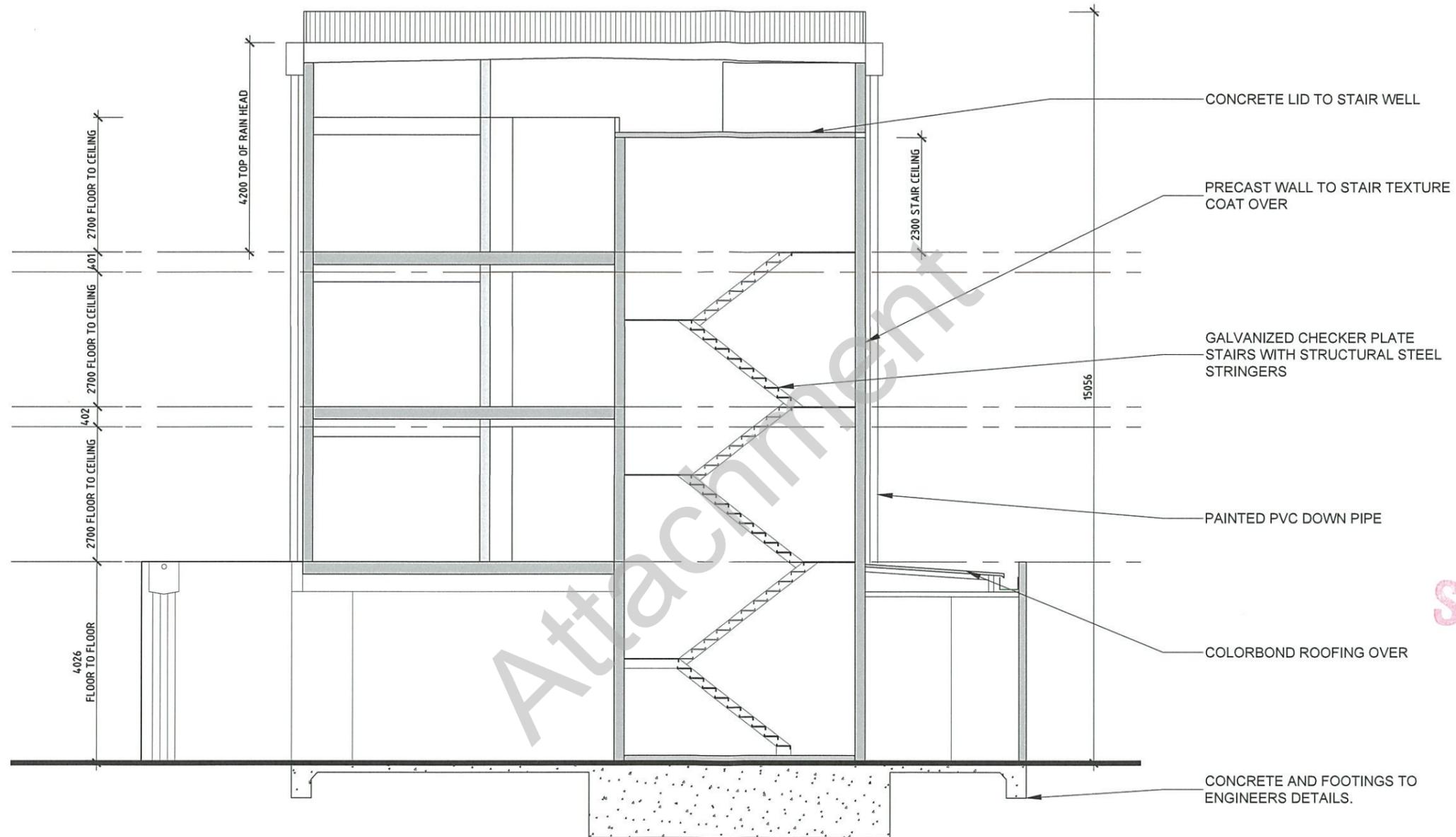
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CLIENTS MOAI PROJECTS
129 CHURCHILL RD
PROSPECT

PROJECT 9 ALLAN ST
PROSPECT

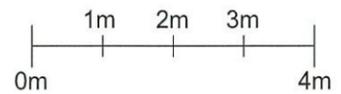
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SECTION B-B
SCALE 1:100 @A3

SUPERSEDED



PLANNING	
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DATE	9 FEBRUARY 2016
SCALE	AS NOTED @ A3
CLIENTS	MOAI PROJECTS 129 CHURCHILL RD PROPSECT
PROJECT	9 ALLAN ST PROPSECT
DRAWING TITLE	SECTION B-B
PAGE NO.	SK502

AGENDA ITEM: 6.1 PREVIOUSLY DEFERRED**To:** Development Assessment Panel (DAP) on 14 November 2016**From:** Robert Veitch, Planning Consultant**Proposal:** 4 Storey Mixed Use Building comprising 15 Dwellings with Commercial Tenancy and associated Car Parking (DA 050/220/2016)**Address:** 129 Churchill Road, Prospect (CT 5309/33)**SUMMARY:**

Applicant: Yianni Moschou

Owner: Mosbank PL

Planning Authority: Council

Mandatory Referrals: Department of Planning, Transport and Infrastructure (DPTI)

Internal Referrals: Marchese Partners International PL
Infrastructure, Assets and Environment Department

Public Notification: Category 2

Representations: One

Submissions: One

Respondent: AGC Projects

DP Version: Consolidated 21 April 2016

Zone and Policy Area: Urban Corridor Zone (Boulevard Policy Area)

Issues: Parking and Vehicular Movements

Recommendation: Approval, subject to conditions

ATTACHMENTS:

Attachment 1 Revised Site Plan

Attachment 2 Revised Ground Floor Plan

Attachments 3-10 Correspondence from Phil Weaver on behalf of applicant

Attachments 11 Correspondence from Applicant regarding Car Parking contribution

Attachments 12-27 Previous Proposal Plans

Attachment 28 Shared Parking Concept Plan Fig Sh/P/2

1. **EXECUTIVE SUMMARY**

- 1.1 The Development Assessment Panel (DAP) previously considered the subject proposal, for a four storey Mixed Use Building comprising 15 Dwellings with Café and associated Car Parking at 129 Churchill Road Prospect, at its meeting of 10 October 2016.
- 1.2 The DAP deferred the proposal, based on a shortfall in car parking of 8 spaces provided on-site, noting that Council's DAP may accept a contribution to Council's Off Street Car Parking Development Fund in lieu of providing some spaces on-site. The shortfall was incorrectly stated in the previous report as 8 and therefore this was replicated in the Panel's resolution. The actual shortfall in car parking spaces is correctly calculated at 4.
- 1.3 The applicant has provided an amended plan and supporting documentation in direct response to the reason that the application was deferred. The amendments include a revised Site Plan, Ground Floor Plan, supporting Traffic and Parking Demand Assessment and letter of offer for a contribution to Council's Off Street Car Parking Development Fund. The proposal remains for the construction of a four storey Mixed Use building, with 15 Dwellings and Car Parking. The former ground floor Café has been amended to a smaller Commercial Tenancy, to allow for improved car parking manoeuvrability, with increased landscaping to Churchill Road resulting as well.
- 1.4 The amendments made do not warrant further mandatory referrals or independent advice, nor was public notification required again. The amendments and additional information are considered to suitably address the concerns identified, and the proposal therefore warrants Development Plan (DP) consent.

2. **BACKGROUND**

- 2.1 At its meeting of 10 October 2016, the DAP deferred the application noting several aspects of the development of concern, including parking and vehicular movements.
- 2.2 The reports from previous DAP meetings are available for viewing on the City of Prospect website (www.prospect.sa.gov.au). The original proposal plans previously considered by the DAP at its 10 October 2016 meeting are attached for the DAP's reference (refer **Attachments 12-27**).
- 2.3 The applicant has subsequently provided revised proposal plans (refer **Attachment 1-2**), supporting traffic report addressing the matters above (refer **Attachments 3-10**) and letter of offer for a contribution to Council's Car Parking Fund for consideration (refer **Attachment 11**). Other miscellaneous changes include formal recognition of cycle parking, additional landscaping and smaller outdoor dining.

3. **PLANNING ASSESSMENT**

3.1. **Car Parking**

- 3.1.1. Within Table Pr/5 (Urban Corridor Zone), one car parking space is desired for each dwelling, an additional 0.25 spaces per dwelling for visitor parking and 3-5 spaces per 100 m² of gross leasable area for non-residential uses. This equates to a total of 20 car parking spaces, with 15 for occupants, 3.75 for visitors and 0.6 – 1.0 for the commercial tenancy. The amended proposal would still provide 16 car parking bays, which remains a departure from the DP of 4 spaces. It is noted that this departure was erroneously described as 8 spaces in the original report to the October meeting.
- 3.1.2. The applicant has proposed several changes to the Ground Floor Plan (refer **Attachment 1**) and engaged a traffic consultant to prepare a Traffic and Parking Demand Assessment (refer **Attachments 2-10**) to address the car parking

shortfall. Phil Weaver and Associates PL have provided supporting correspondence acknowledging that while there would be a shortfall in on-site car parking provision relating to short term parking, he considers that:

- The close proximity of the proposal to bus stops on both sides of Churchill Road would reduce demand for both resident and visitor parking, and
- There is an opportunity to accommodate additional car parking demand in on-street areas close to the subject site ie Vine Street to the south and Olive Street to the north, with parking available within close walking distance to the site.

3.1.3. The traffic engineer evaluated the likely demand for parking, taking into account the likely peak periods of use of the dwellings and commercial tenancy. The analysis suggests that peak demand would be in the order of 20 car parking spaces and confirms that the proposal would not provide sufficient off-street parking spaces to satisfy this peak demand in isolation. As a result of Mr Weaver's expert advice, the ground floor layout has been revised to provide more convenient access and parking bay dimensions.

3.1.4. The applicant's parking consultant reviewed local parking availability and concluded that there was sufficient capacity within the locality to accommodate the anticipated shortfall in parking provision. It is worth noting the observation of parking spaces to Vine Street within 100 metres of Churchill Road at 7:30pm on Friday 14 October. On an evening of fine weather conditions and with no notable sporting events that would draw people away from the locality, when the proposed dwellings are likely to experience a peak in demand, the following was recorded:

- a) Northern side, 7 space capacity, 4 of which were occupied
- b) Southern side, 4 space capacity, all of which were occupied.

3.1.5. It is acknowledged that not all future development will be able to provide the desired minimum number of parking spaces and, in some circumstances, an under-supply of parking may not be fatal to the application when balanced against the other relevant provisions of the DP. It is noted that a lesser car parking rate than prescribed may be applied where justified based on local circumstances (Table Pr/5), where:

- (a) *the development is a mixed use development with integrated (shared) parking where the respective peak parking demands across the range of uses occurs at different times;*
- (b) *the development is sited in a locality where the respective peak demands for parking for the range of uses (existing and proposed) occurs at different times and suitable arrangements are in place for the sharing of adjoining or nearby parking areas;*
- (c) *the development involves the retention and reuse of a place of heritage value, where the provision of on-site parking is constrained;*
- (d) *suitable arrangements are made for any parking shortfall to be met elsewhere or by other means (including a contribution to a car parking fund);*
- (e) *generous on-street parking and/or public parking areas are available and in convenient proximity, other than where such parking may become limited or removed by future loss of access, restrictions, road modifications or widening;*

(f) *the site of the development is located within distances specified in the conditions applicable to Designated Areas for at least two different public transit modes.*

- 3.1.6. As noted above, Council's DP includes the ability for an applicant to offer a contribution to the Off Street Car Parking Development Fund, where development has a shortfall in off street car parking (Council-wide PDC 217). Council has resolved that an amount of up to \$9,000 per space can be contributed. These funds can subsequently be used to improve parking facilities in the Council area, particularly in or near shared parking areas identified in Council's DP (CW PDC 218). As identified on the *Potential for Shared Parking Concept Plan Fig Sh/P/2* (refer **Attachment 28**), the corner of Vine Street and Wisteria Lane has been designated as one of these areas, over the eastern portion of the subject land adjacent Wisteria Lane and the adjoining Rose Garden Restaurant's rear car park.
- 3.1.7. While the overall shortfall is four spaces, the applicant's parking consultant advises that there is sufficient capacity within the locality to accommodate some of the anticipated short fall. Accordingly, the applicant has offered to contribute \$9,000 to the Car Parking Fund for 1 space that is unable to be provided on-site (refer to **Attachment 11**).
- 3.1.8. The applicant has also proposed a change from café to commercial tenancy, which is considered further in section 3.2 of this report. It is noted that the car parking space linked with this tenancy would provide overnight visitor parking from 6pm - 8am. Appropriate signage would assist with this occurring and to ensure this dual use happens, the imposition of a relevant condition is recommended.
- 3.1.9. The supply of off-street car parking associated with the proposal is considered to be insufficient at certain times and is likely to result in an increase in on-street parking in the locality. This is not considered to be fatal to the application, based on the supporting information and as a contribution to the Fund is a legally recognised means by which a shortfall in parking can be overcome. The proposed provision of car parking spaces is therefore considered appropriate, when considered in combination with an offer of a contribution to Council's Off Street Car Parking Development Fund.

3.2 Commercial Tenancy

- 3.2.1. With the change from café to commercial space, the applicant has also reduced the floor area from 39m² to a 20m². The outdoor dining area of 12m² has been reduced to a paved entrance path of 5m². As a result, landscaping would increase to the front of the proposal and the Lobby (Common Area) would increase in size.
- 3.2.2. The proposed commercial use would result in the availability of the car parking space assigned to the tenancy for resident visitor parking outside of business hours. As described in section 3.1, this space would be used for visitor parking after 6pm and before 8am. While it is considered that the commercial tenancy is a less desirable use than the originally proposed retail tenancy, it is considered that the commercial tenancy nonetheless provides a desirably active frontage to Churchill Road at ground level.

3.3 Bicycle Parking

- 3.3.1. Table Pr/6 outlines an anticipated demand for residents of one bicycle park for every four dwellings, visitors of one park for every ten dwellings, employees of

one for every 300m² of gross leasable area and shoppers one for every 600m² of gross leasable area.

- 3.3.2. Six bicycle parks should be provided in total, comprised of 3.75 for occupants, 1.5 for visitor parking, with the remaining 0.75 being satisfactory for the 20m² commercial space. Previously no bicycle parking was proposed and a condition addressing this omission was proposed.
- 3.3.3. Parking for eight cycles has now been included adjacent car parking bay 14, where Cage Storage was previously provided. As a result of this amendment, the previously recommended condition has been removed.

3.4 **Stormwater**

- 3.4.1. Given that the proposal will result in an increase in stormwater run-off from the subject land and the proposed ground floor levels may need to be increased slightly, it is appropriate that Council receive and assess a detailed stormwater management plan. The applicant has advised that proposed rainwater tanks previously shown adjacent to car parking bays 8 - 10 are likely to be relocated underground, hence they have not been shown in the amended Ground Floor Plan.
- 3.4.2. As previously recommended, consideration of the stormwater design can be reserved for further assessment and approval by Council.
- 3.5 It is considered that the amendments satisfactorily address the concerns previously identified by the DAP.

4. **CONCLUSION**

- 4.1 Summarised briefly, the amended proposal addresses the deferral matter by:
1. *Revisions to the configuration of the Ground Floor Plan*
 2. *Engaging a traffic consultant to provide a Traffic and Parking Demand Assessment*
 3. *The offer of \$9000 from the applicant to Council's Car Parking Fund*
 4. *Retail to Commercial use of tenancy*
 5. *Bicycle parking provision.*
- 4.2 In line with the earlier discussion in this report, the application is considered to be sufficiently consistent with the relevant provisions of the Prospect (City) DP and it is thus recommended:

Recommendation A:

That with reference to the relevant provisions of the Prospect (City) DP, the zoning of the land within which the proposed development is situated and the locality within which the land is situated, the Panel resolves that development application 050/220/2016 is not seriously at variance with the DP and as such a decision shall be made on the merits of the application.

Recommendation B:

The Development Assessment Panel hereby determines, after taking into account the relevant provisions of Council's DP, that the proposal does not provide for sufficient spaces for the parking of cars at the site of the development.

Recommendation C:

The Development Assessment Panel hereby agrees to accept a contribution of \$9,000 (GST inclusive) to Council's Off Street Car Parking Development Fund, as offered by the applicant through correspondence dated 27 October 2016 forming part of the application, in lieu of providing the equivalent of 1 space at the site of the development, payable at or before occupancy of the building.

Recommendation D:

That pursuant to the *Development Act 1993*, as amended, DP Consent be approved to DA 050/220/2016 from Yianni Moschou for 4 Storey Mixed Use Building comprising 15 dwellings with Commercial Tenancy and associated Car Parking at 129 Churchill Road Prospect (CT 5309/33), subject to the following reserved matter, conditions and notes:

Reserved Matter:

1. A detailed stormwater management plan shall be provided, and shall demonstrate that post-development outflow rates from the site will match pre-development rates in 1 in 20 ARI storm events. The location and capacity of any on-site detention tanks, as well as the extent of any fill and associated retaining walls, shall be clearly described.

Conditions:

1. The development shall take place in accordance with plans and details stamped by Council relating to Development Application number 050/220/2016, except as modified by any conditions detailed herein. All works detailed in the approved plans and required by conditions are to be completed prior to the occupation of the approved development.
2. Payment of \$9,000 (GST inclusive) shall be made to Council's Off Street Car Parking Development Fund at or before occupancy of the building, as detailed in correspondence dated 27 October 2016 from Mr Yianni Moschou of AGC Projects.
3. All driveways, parking and manoeuvring areas must be formed, surfaced with concrete, bitumen or paving, and be properly drained. They shall not be used for the storage of materials or goods including waste products and refuse.

Surfacing of the car park, line marking, directional arrows and associated signage shall be maintained to the reasonable satisfaction of Council at all times. All car parking spaces must be line-marked in accordance with the approved plans and to comply with the Australian/New Zealand Standard for Parking Facilities (Part 1: Off-street Car Parking (AS/NZS 2890.1:2004) prior to occupation.

The car parking space linked with the commercial tenancy is to be used for visitor parking from 6pm - 8am only. Clearly marked signage advising same is to be installed in this locality.

4. Air-conditioning units and solar hot water heaters shall be provided with screening devices designed to complement the colours, materials and finishes of the building approved herein, and shall be sited to adequately screen the units from view to the reasonable satisfaction of Council.
5. The Community Corporation shall ensure that the waste storage area is cleaned and maintained to the satisfaction of Council. General, recyclable and green organic wastes shall be co-mingled, with the Community Corporation maintaining responsibility for transporting bins between the private contractor and the storage area in a timely fashion to the satisfaction of Council.

6. To maximise the efficiency of waste recycling:
 - a) Provision shall be made for the separation of recyclable materials for collection and recycling, including paper, cardboard, glass and plastic containers, tins, and any other plastic that 'holds its shape';
 - b) Separate provision shall be made for the collection of food waste (food organics) and food-contaminated cardboard, paper or paper products, which are to be collected for composting; and
 - c) Paper attached to plastic, wax paper or chemically-treated/gloss cardboard will not be included with the materials collected for composting.
7. The building must be maintained, kept tidy, free of graffiti and in good repair and condition at all times.
8. Lighting to driveways, parking and manoeuvring areas shall be lit in accordance with the Australian Standard for Lighting for Roads and Public Spaces (AS1158.1 and AS1158.3) during the hours of darkness that they are in use and accessible by the general public.
9. The following design changes are to occur prior to the issue of Building Rules Consent:
 - a) 5m wide opening and automatic gate to Wisteria Lane to be increased to 5.5m clear width;
 - b) Black anodized door and window frames to be dark grey to match steelwork and the black decorative mesh screens and balustrading to be mid grey; and
 - c) 1.5m high screening to east facing bedroom window of dwelling 15 to be increased to 1.7m in height.
10. All works on Council land shall be conducted to Council's specification, with all works to be bunted off safely and pedestrian safety to be maintained throughout the construction period. Plantings will also need to be undertaken in line with council specifications in terms of sight distance interference and safety to the community (thorns/poisonous plantings). Plans displaying all relevant details of the Road/Kerbing/Footpath Works shall be submitted to the Assets and Infrastructure Officer for approval prior to the commencement of any such works.
11. The landscaping shall be planted in accordance with the approved plans prior to occupancy of the development. Mature trees shall be no less than 2.0m in height at time of planting. Appropriate species for understorey plantings shall be used to ensure sufficient coverage of the landscaping area. All planting must be of species which will not grow to cause damage to paved or sealed areas, building foundations or underground services.
12. All landscaping areas and the 500mm strip of land to the rear of the subject land shall be maintained at all times to the reasonable satisfaction of Council. The applicant or the persons for the time being making use of the subject land shall cultivate, tend and nurture the landscaping, and shall replace any landscaping that becomes diseased or dies. An automated drip irrigation or similar watering system shall be established and maintained to ensure that sufficient water is available to satisfy the needs of the landscaping species selected.
13. During construction of the development approved herein, measures will be implemented to ensure that the construction works do not result in an unreasonable impact on occupiers of adjacent properties or pollution of existing infrastructure through drag-out or stormwater runoff. Measures shall include as necessary:

- a) A hard surface and controlled washing zone at the entry/exit points to the site, designed to reduce the potential for mud and material dragged out by construction vehicles;
 - b) Containment of stormwater run-off within the site, which if being discharged into the stormwater system will be filtered to the satisfaction of Council;
 - c) Reduction of the potential for dust and other airborne particles by the use of water sprinklers and/or other means of containment;
 - d) The establishment of an appropriate storage compound for waste materials and litter. No building waste material shall be stored outside of the storage compound or similar industrial bin; and
 - e) All mechanical equipment shall be used in a manner to minimise the potential for noise pollution and ensure compliance with the requirements of the Environment Protection (Noise) Policy.
14. Footpaths adjacent to the site are to be kept in a safe condition for pedestrians at all times during construction works. All driveways and footpaths traversed by vehicles using the site are to be maintained in a reasonable condition for the duration of the works, and are to be reinstated to the satisfaction of Council on completion of the works.

No obstruction of the footpath or roadway may occur without the prior permission of Council. For further advice, please contact Council's Infrastructure and Environment Department on 8269 5355.

15. To ensure compliance with applicable standards as described in the Environment Protection (Noise) Policy established under the Environment Protection Act, construction activities shall only take place between the hours of 7:00am and 7:00pm, Monday to Saturday inclusive, and not on Sundays or public holidays.
16. The herein endorsed building shall be designed and constructed such that it complies at all times with the Minister's Specification 78B (*Construction Requirements for the Control of External Sound*).

The following conditions have been applied at the direction of the Commissioner of Highways:

17. All building works shall be set clear of the 2.13 metres road widening requirement.
18. All services and infrastructure associated with the development, including but not limited to, fencing and utility meter(s) shall be located a minimum of 2.13 metres from the Churchill Road property boundary.

The following conditions have been applied at the advice of the Commissioner of Highways:

19. All access shall be constructed in accordance with AGC Projects Ground Floor Plan, Page No. SK201, dated 25 October 2016.
20. The redundant Churchill Road crossover shall be closed and reinstated to Council specification kerb and gutter at the applicant's cost prior to habitation of the dwellings.
21. No stormwater from this development is permitted to discharge on-surface to Churchill Road. In addition, any existing drainage of the road shall be accommodated by the development and any alterations to road drainage infrastructure as a result of this development shall be at the expense of the developer.

Advisory Notes:

- (1) Pursuant to Section 86(1)(a) of the Development Act, 1993, you have the right of appeal to the Environment, Resources and Development Court against either 1) a refusal of consent or 2) any condition(s) which have been imposed on a consent. Any such appeal must be lodged with the Court within two (2) months from the day on which you receive this notification or such longer period as may be allowed by the Court.

The Environment, Resources and Development Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide SA 5000 (Postal Address: GPO Box 2465, Adelaide SA 5001).

- (2) The DP consent granted herein is effective for a period of twelve (12) months from the date of the decision. Unless Council extends this period, building rules consent is required within this time or the consent will lapse.

Any request for an extension of the operative period of the consent must be submitted to Council in writing, accompanied by the applicable fee.

- (3) Further application pursuant to the Local Government Act shall be made to the Infrastructure Assets and Environment Department for the proposed crossover removal and access upgrade prior to demolition and construction activities occurring.

Road/Kerbing/Footpath Works will need to be inspected by an Assets and Infrastructure Officer to determine they have met all relevant requirements. All work including line marking will be the responsibility of the applicant as will the reinstatement of any damaged Infrastructure / Services related to these works. All works will be carried out at the cost to the applicant.

- (4) Prior to the commencement of construction of the development herein approved, it is strongly recommended that you employ the services of a licensed Land Surveyor to carry out an identification survey of the subject land and to peg the true boundaries, to ensure that building work will be either on the true boundaries or the specified distance from the true boundaries of the subject land, as the case may be.

Failure to correctly site the development on the land in accordance with the plans approved herein would constitute a breach of the *Development Act 1993*. Any amendments required to the approved plans as a result of the survey are to be submitted to Council for approval prior to works commencing.

- (5) You are encouraged to consult with adjoining property owners before commencing any work, to assist in minimising nuisance or inconvenience caused during construction.

- (6) You are required to give formal notification to, and consult with, the adjoining property owner if you are removing, replacing or altering an existing fence or building a freestanding wall along the common boundary that would, for all purposes, be a dividing fence (Section 5 of the *Fences Act 1975*).

- (7) If you (the building owner) are undertaking building work that affects the stability of other land or premises, namely:

- an excavation which intersects a notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site (as depicted in figure 1); or
- an excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation (as depicted in figure 2); or

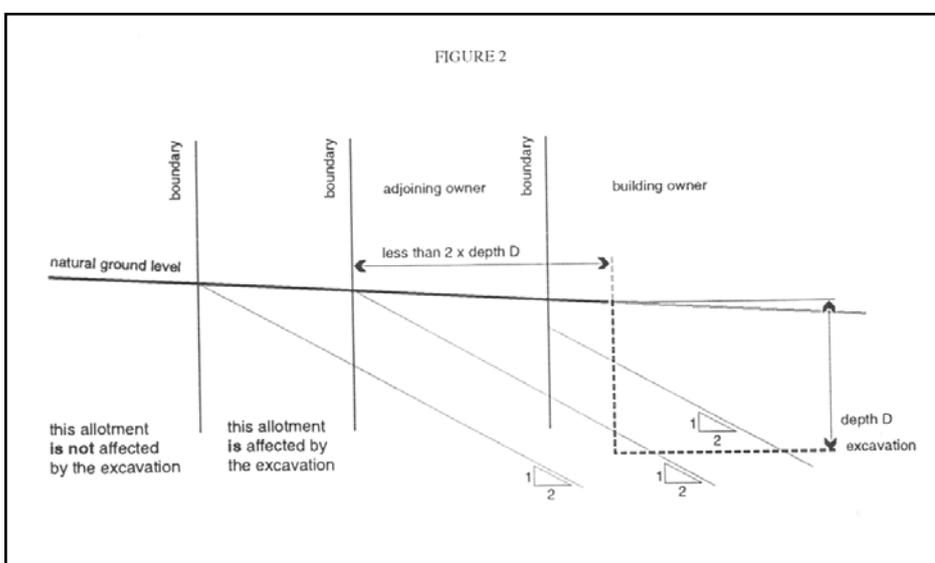
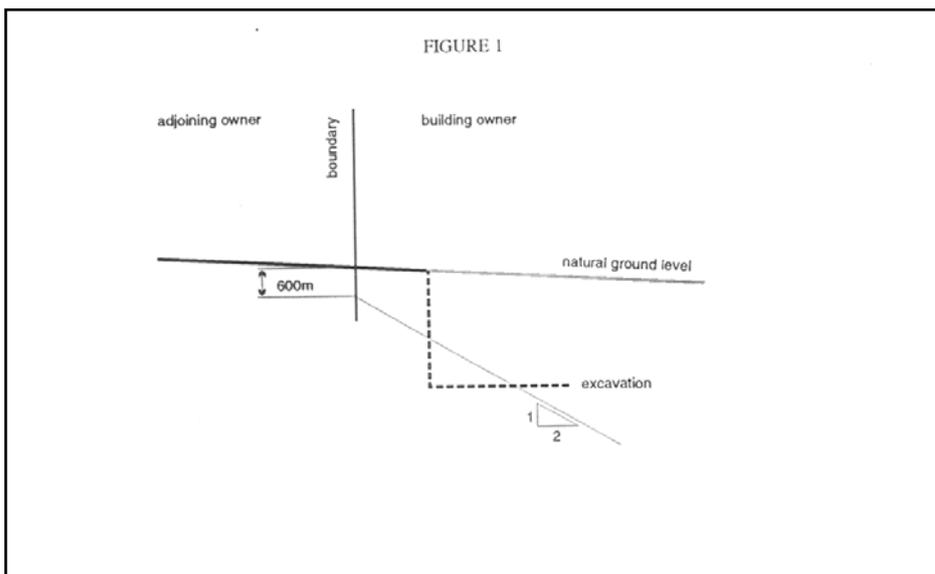
- any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200 millimetres in depth (or height) and is for landscaping, gardening or other similar purposes;

Then you (the building owner) must, at least 28 days before the building work is commenced:

- serve on the owner of the affected land or premises a notice of intention to perform the building work and describing the nature of that work; and
- you must take such precautions as may be prescribed to protect the affected land or premises and must, at the request of the owner of the affected land or premises, carry out such other building work in relation to that land or premises as that adjoining owner is authorised by the regulations to require.

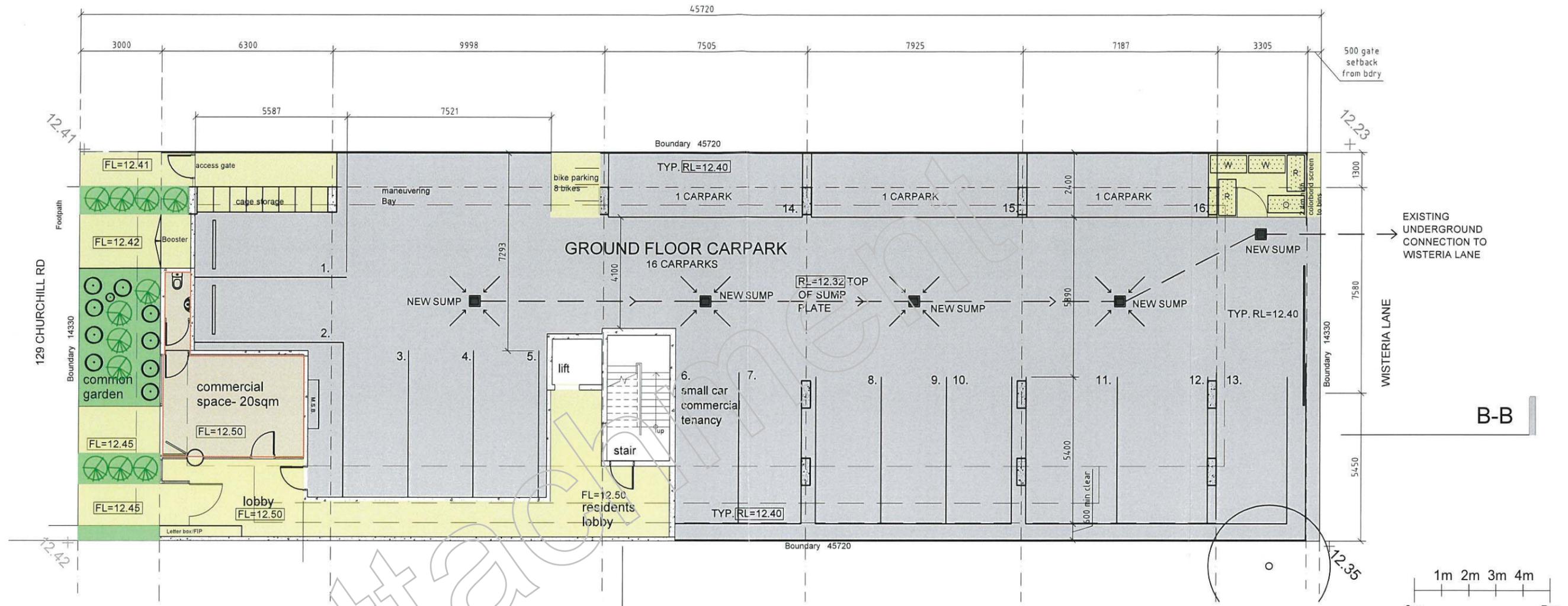
If you fail to comply with these notification requirements, then you are guilty of an offence with a maximum penalty of \$10 000.

You may apply to the Court for a determination of what proportion (if any) of the expense incurred by you in the performance of the building work requested by the owner of affected land or premises (under subsection (b) above) should be borne by the owner of that land or premises, and you may recover an amount determined by the Court from the owner of the affected land or premises as a debt.



The following note has been applied at the direction of the Commissioner of Highways:

- i. The Metropolitan Adelaide Road Widening Plan (MARWP) shows a possible requirement for a strip of land up to 2.13 metres in width from the Churchill Road frontage of Lot 8 in DP 1204, for future road purposes. The consent of the Commissioner of Highways under the Metropolitan Adelaide Road Widening Plan Act is required to all building works on or within 6.0 metres of the 2.13 metres requirement. Accordingly, the attached consent form and three copies of the approved plans should be provided to DPTI for consent purposes.



CONSTRUCTION NOTES

- PARTITION WALLS**
PLASTERBOARD DOUBLE STUD FIRE RATED WALL
- GROUND FLOOR COLUMNS**
PRECAST CONCRETE- STUCCO RENDER TO NORTH AND EASTERN COLUMNS NATURAL OFF FORM FINISH ELSEWHERE
- EXTERNAL INFILL WALLING**
STEEL STUD FRAME WITH PLASTERBOARD INTERNALLY WITH INSULATED COLORBOND WALL EXTERNALLY
ABOVE LEVEL 3 CEILING STEEL FRAMING WITH COLORBOND OVER
- INTERNAL PARTITION WALLING**
NOM. 64MM STUD FRAME WITH 10MM PLASTER BOARD
- INTERNAL CEILING**
13MM PLASTERBOARD ON SUSPENDED FRAME
- EXTERNAL CEILINGS**
FLUSHED CFC SHEET ON SUSPENDED FRAME
- SETDOWNS**
-20MM SET DOWNS TO BATHS AND LAUNDRIES
-50MM SETDOWN TO WALKWAYS AND BALCONIES
-FALL GROUND FLOOR SLAB TO MID LINE OF SLAB- GRADED BACK TO SUMPS EVERY 6-8M
- STAIRS**
STEEL STAIRS, LANDINGS AND HANDRAILS
- CONSTRUCTION LOAD**
-WALKWAY TO TAKE MOBILE LOAD UP TO TWO TONNES DURING CONSTRUCTION

- COMMON AREA
- COMMERCIAL TENANCY
- CARPARK
- LANDSCAPED AREA

WASTE MANAGEMENT
Refer to separate attachment for detailed brief
Bin enclosure to be 2.4m high Good Neighbour style
fencing with 1.1m wide door on a spring closer,
basic latch to open and close
Minimum enclosure area 9.0sqm

GROUND FLOOR
SCALE 1:150
planning

AGC///PROJECTS

129 CHURCHILL ROAD PROSPECT SA 5082
P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE	25 OCTOBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOSBANK 129 CHURCHILL RD PROSPECT
PROJECT	129 CHURCHILL RD PROSPECT

AMENDED PLAN

DRAWING TITLE	PAGE NO.
FLOOR PLANS	PL201B

Consultant Traffic Engineers
ABN 67 093 665 680

204 Young Street
Unley SA 5061

P: 08 8271 5999

F: 08 8271 5666

E: mail@philweaver.com.au

File: 157-16

24 October 2016

Mr Yianni Moschou
AGC Projects
129 Churchill Road
PROSPECT SA 5082

Dear Mr Moschou,

PROPOSED MIXED USE DEVELOPMENT - 129 CHURCHILL ROAD, PROSPECT - TRAFFIC AND PARKING DEMAND ASSESSMENT

I refer to our recent discussions relating to the proposed construction of a multi-level building / mixed use development to accommodate 15 residential apartments and a commercial use together with associated car parking on the above site.

As requested I have undertaken the following review of the traffic and parking demand related aspects of the subject development.

EXISTING SITUATION

The subject site is located on the eastern side of Churchill Road, approximately 20m to the north of the intersection of this road with Vine Street, Prospect.

The subject site currently accommodates a single storey office building and an informal car parking area at the rear of the building. This car parking area provides car parking for up to 5 cars and is accessed off Wisteria Lane via Vine Street.

The subject site has frontages of approximately 15m to both Churchill Road and Wisteria Lane.

There are two access points into the subject site comprising single access points off Churchill Road and Wisteria Lane. The access point off Churchill Road is approximately 3m in width and is located adjacent to the northern boundary of the site. The rear car park off Wisteria Lane is accessed via a crossover incorporating a sliding gate of approximately 5m in width. There is an opportunity to park an additional car within the driveway, at the front of the site off Churchill Road.

Existing land uses along the subject section of Churchill Road are mostly residential but include a number of commercial uses including:-

- The Rose Garden Restaurant (125 Churchill Road) which is located on the north-eastern corner of the intersection of Vine Street and Churchill Road,

- The Ministra Restaurant located on the south-eastern corner of the intersection of Churchill Road and Vine Street and an adjoining Indian Grocery Store (India Groceries), and ¹²³
- Prospect Physiotherapy Clinic / the SA Podiatry Clinic located at 133 Churchill Road.

The above developments all provide on-site car parking, including:-

- A car parking area at the rear of the Rose Garden restaurant. This car parking area is accessed via a crossover on the northern side of Vine Street. This crossover is located approximately mid-block between Churchill Road and Wisteria Lane. This car parking area has a capacity to accommodate approximately 11 cars,
- A car parking area on the southern side of the Ministra restaurant / India Groceries. This car parking area is accessed off Churchill Road and has a capacity to accommodate approximately 10 cars. This car parking area is accessed via Churchill Road, and
- Car parking areas at the front and rear of the physiotherapy / podiatry clinic located at 133 Churchill Road. These parking areas are accessed via Churchill Road and Wisteria Lane, respectively.

Churchill Road, adjacent to the subject site, provides a single traffic lane and a bicycle lane in each direction.

A right turn lane is located directly in front of the subject site on Churchill Road for traffic turning into Totness Street located on the western side of Churchill Road, directly opposite the subject site.

A raised traffic island is located immediately to the south of this right turn lane. The northern end of the raised central island is located approximately 2m from the southern boundary of the subject site. The traffic island incorporates a pedestrian refuge and provides a width of approximately 2m. This pedestrian refuge provides an opportunity for pedestrians crossing Churchill Road to do so in two stages.

Parking is provided in the form of parking embayments on both sides of Churchill Road. The eastern side of Churchill Road between Vine Street and Olive Street provides 4 spaces in this area. The western side of Churchill Road over the same approximate length (i.e. between Totness Street and the boundary between 111/113 Churchill Road) provides on-street parking for up to 3 cars.

A bus stop is located on the eastern side of Churchill Road, approximately 40m to the south of the intersection of this road with Vine Street.

Vine Street has a kerb to kerb width of approximately 7m. Parking is generally unrestricted on both sides of this roadway between Churchill Road and Prospect Road.

However, parking is prohibited on both sides of this roadway, to the immediate east of Churchill Road. These restrictions extend along:-

- The northern side of Vine Street between Churchill Road and the western side of the crossover associated with the Rose Garden restaurant, and
- The southern side of Vine Street between Churchill Road and the eastern boundary of the site accommodating the Ministra restaurant.

Wisteria Lane, at the rear of the site, has a boundary to boundary width of approximately 6m. This lane provides access into the subject site and the rear of the Physiotherapy / Podiatry Clinic, but also to Lavender Lane which extends along the rear of properties fronting the southern side of Olive Street and the northern side of Vine Street.

Olive Street, to the north of the subject site, has a kerb to kerb width of approximately 11m to the immediate east of Churchill Road. The northern side of this roadway includes street trees within the road carriageway in the form of landscaped islands. However, parallel parking is permitted on both sides of this roadway. The overall width of this roadway permits parking on both sides of the road with a traffic carriageway of approximately 6m between parked cars.

Totness Street on the western side of Churchill Road directly opposite the subject site, provides a width of approximately 8.5m. Parking is unrestricted on both sides of this road between Churchill Road and Devonport Terrace.

The speed limit on Churchill Road, adjacent to the subject site, is 60 km/h. Both Vine Street and Olive Street, to the east of Churchill Road are located with a 40km/h area.

I understand Churchill Road in the vicinity of the site is subject to potential road widening requirements. The Metropolitan Adelaide Road Widening Plan (MARWP) identifies the potential for the Commissioner of Highways to acquire a strip of land on both sides of Churchill Road of up to 2.13m in width.

PROPOSED DEVELOPMENT

The proposed development is identified on a series of plans prepared by your office including:-

- A Ground Floor Plan (Drawing No. PL201),
- A First Floor Plan (Drawing No. PL202),
- A Second Floor Plan (Drawing No. PL203),
- A Third Floor Plan (Drawing No. PL204).

I note that the proposed development includes:-

- Demolition of the existing buildings on the site,
- Construction of a multi-level building, comprising:-

Ground Floor Level

- An undercroft car parking area providing 16 spaces,
- A commercial space of 20m² at the front of the building,

First, Second and Third Floor Levels each to provide:-

- 1 one bedroom apartments, and
- 4 two bedroom apartments.

Pedestrian access will be provided from Churchill Road into both the residential and commercial components of the subject development with a residential lobby located on the southern side of the building. Pedestrian access will also be provided into the car parking area via a gate on the northern side of the subject site. Access into the café will be provided on the southern side of the building.

North west car

PARKING ASSESSMENT

Table Pr/5 Off Street Vehicle Parking Requirements for Designated Areas within the Prospect (City) Development Plan identifies car parking provisions within the following Table :-

Type / Location of Development	Desired minimum number of vehicle parking spaces	Desired maximum number of vehicle parking spaces
Non-residential development excluding tourist accommodation in the Urban Corridor Zone	3 spaces per 100m ² of gross leasable floor area	5 spaces per 100m ² of gross leasable floor area
	Rate for each dwelling based on number of bedrooms per dwelling	Plus number of required visitor parking spaces
Residential development in the form of residential flat buildings and multi storey buildings in the Urban Corridor Zone	1 space per studio (no separate bedroom) 1 or 2 bedroom dwelling 1.25 spaces per 3+ bedroom dwelling	0.25 per dwelling

Based on the above Table, the proposed development would theoretically require 19 parking spaces as follows:-

- Commercial – 20m² @3/100m² = 1.0 space
 - 3 one bedroom dwellings x 1.0 space / dwelling = 3 6.0 spaces
 - 12 two bedroom dwellings x 1.0 space / dwelling = 12 9.0 spaces
 - 15 dwellings x 0.25 spaces / dwelling = 3.75 visitor spaces
- Total (rounded up) 20 spaces**

The proposed development will therefore result in a theoretical shortfall of 4 spaces.

The provision of 16 spaces on site would provide sufficient car parking to accommodate the car parking requirements of both residents and a staff member associated with the commercial tenancy. Consequently, visitors to the residential dwellings and clients of the commercial tenancy would be required to park off-street.

+ offer

On-street parking is currently provided on both sides of Churchill Road in the vicinity of the site.

Additional on-street parking is also provided within both Olive Street to the north and Vine Street to the south of the subject site, within a distance of approximately 100 m from the subject site. These two roadways provide unrestricted parking on both sides of each roadway, with the exception of the section of each roadway to the immediate east of Churchill Road.

Vine Street, east of Churchill Road, up to a distance of 100m from this intersection has a capacity to accommodate approximately:-

- 3 spaces between the crossover associated with the car parking area at the rear of the Rose Garden restaurant and Wisteria Lane assuming that parking is legally permitted in this area as there is some ambiguity associated with a faded yellow pavement marking between the crossover and the intersection and signage which suggests that parking is permitted,
- Approximately 6 spaces on the northern side of Vine Street between Wisteria Lane and the boundary fence between 82 and 84 Vine Street, and
- Approximately 5 spaces on the southern side of Vine Street between Laburnum Lane and a point directly opposite the boundary fence separating 82 and 84 Vine Street.

On street parking on the southern side of Olive Street between Churchill Road and the intersection with Wisteria Lane has a capacity to accommodate up to 6 cars. The northern side of this roadway, over approximately the same distance, permits parking for up to 2 cars.

A number of inspections have been undertaken within the locality as part of the above assessment. These inspections were undertaken during weekday, evening and weekend periods and are summarised below:-

- At **7.30 pm on Friday 14th October 2016** a total of 8 spaces were available in the areas described above, namely:-
 - 2 unused spaces on the northern side and 3 spaces on the southern side of Olive Street, between Churchill Road and the intersection with Wisteria Lane,
 - 3 unused spaces on the northern side but none on the southern side of Vine Street, within a distance of approximately 100m east of the intersection with Churchill Road
- At **12.00 pm on Sunday 16th October 2016** a total of 16 spaces were available in the areas described above, namely:-
 - 2 unused spaces on the northern side and 3 spaces on the southern side of Olive Street, between Churchill Road and the intersection with Wisteria Lane,
 - 7 unused spaces on the northern side and 4 spaces on the southern side of Vine Street, within a distance of approximately 100m east of the intersection with Churchill Road.
- At **4.00 pm on Monday 17th October 2016** a total of 15 spaces were available in the areas described above, namely:-
 - 2 unused spaces on the northern side and 2 spaces on the southern side of Olive Street, between Churchill Road and the intersection with Wisteria Lane,
 - 7 unused spaces on the northern side and 4 spaces on the southern side of Vine Street, within a distance of approximately 100m east of the intersection with Churchill Road.

Significantly the review on Friday evening was undertaken at a time when the Minstra Café was open, whereas this café is not open on Saturday evenings. Consequently demand for car parking in the locality is understood to be greater on a Friday evening than the equivalent period on a Saturday evening.

In summary the above inspections of the locality have indicated a level of unused parking capacity on these roadways sufficient to accommodate the short term parking demands associated with the proposed development. I therefore consider that there would be sufficient parking on these roads to accommodate any overflow in car parking demand associated with the subject development.

I also consider that the very close proximity of the subject site to bus stops on both sides of Churchill Road, would reduce reliance upon the use of cars by both residents and visitors associated with the proposed residential development. Potentially this would result in a lesser car parking requirement than indicated by application of the car parking requirements within **Table Pr/5a** above.

I further note that the existing development on the site accommodates an office area of approximately 240m² and provides at most 6 car parking spaces. Hence, there would have historically been a short fall of car parking equivalent to approximately 4 spaces. This is based upon a car parking requirement of 4 spaces/100m² gla, which would have generated a requirement for 10 spaces.

Even on the current minimum car parking rate for non-residential development, there would be a requirement for 8 spaces (rounded up from 7.2 spaces) based upon a car parking requirement of 3 spaces / 100m² gla thereby resulting in a shortfall equivalent to two spaces.

Bicycle Parking

Table Pr/6 Off-Street Bicycle Parking Requirements for the Urban Corridor Zone within the Prospect (City) Development Plan identifies rates of bicycle parking for residential development, in the form of multi-storey buildings, which I consider applicable to the subject development, including:-

Form of Development	Resident/tenant	Visitor/customer
Residential component	1 for every 4 dwellings	1 for every 10 dwellings
Shop	1 for every 300m ² gla	1 for every 600m ² gla

On the above basis, it is considered that there would be a requirement to provide 6 bicycle parking spaces for the residential component of the subject development (3.75 spaces for residents and 1.5 spaces for visitors). The commercial component would require, at most, one bicycle parking space.

The design plans identify the provision of 8 bicycle parks within the ground floor car park which would meet the overall bicycle parking requirements of the proposed development.

However, I note that bicycle parking is currently provided within the road reserve on the southern side of Vine Street adjacent to the Ministra café. This facility has a capacity to accommodate up to 6 bicycles. Based on limited use of this facility during the inspections there would appear to be sufficient capacity to accommodate the visitor / customer bicycle parking demand associated with the proposed development, in addition to the existing use of this facility by nearby commercial and residential developments.

On the above basis, the overall bicycle parking based upon the above standard would be appropriately met.

TRAFFIC ASSESSMENT

The “**Guide to Traffic Generating Developments**” report produced by the former Roads and Traffic Authority of NSW identifies peak hour traffic generation rates which I consider would be applicable to a medium density development such as that proposed on site. This standard identifies the following peak hour traffic generation rates, namely:-

- 0.4 to 0.5 trips per unit for a small unit, i.e. the one and two bedroom units.

On the above basis, I consider that the residential component of the subject development should generate of the order of 8 trips in the am and pm peak hour periods.

In the am peak hour period there would typically be 6 exit movements and 2 entry movements, whereas in the pm peak hour period there would typically be 3 exit movements and 5 entry movements associated with the residential component of the proposed development.

The commercial component of the proposed development could generate of the order of 2 trips/100m² in any one hour, as a retail or office use.. However, the potential use of this component would potentially generate a lesser volume of traffic as it is most likely to be ancillary to the residential component of the subject development.

On the above basis, I therefore consider that the residential and commercial component of the subject development should generate, at most, 10 trips in the am or pm peak hour periods.

I consider that the above forecast level of traffic associated with the proposed development would have minimal impact upon the adjoining road network, particularly in relation to the capacity of Churchill Road. In particular, all traffic accessing the on-site car parking area would access this area via Wisteria Lane and there will be no traffic turning into or out of the site directly to or from Churchill Road. The existing development on the site provides a car parking area (one space) at the front of the site which requires drivers to potentially reverse onto Churchill Road. This will no longer be the case should the subject development be constructed on site.

I estimate that there would be, at most, 4 vph turning right from Churchill Road into either Olive Street or Vine Street in any one hour period.

Waste and recycling will be collected by private contractor with collections occurring from Wisteria Lane at the rear of the site. These collections would be undertaken outside of peak hour periods on the adjoining road network.

SUMMARY AND CONCLUSIONS

As identified above, the proposed development will provide a total of 16 car parking spaces on site and will accommodate the required levels of on-site bicycle parking for residents of each dwelling.

It is proposed that one car parking space will be allocated for each of the 15 residential dwellings, i.e. a total of 15 spaces with each of these spaces allocated to an individual dwelling proposed to be used by residents. The remaining space could be allocated for use by staff of the commercial tenancy also proposed to be provided on site.

While there would be a shortfall in on-site car parking provision relating to short term parking, I consider that:-

- The close proximity of the subject development to bus stops on both sides of Churchill Road would reduce demand for both resident and visitor parking, and
- There is an opportunity to accommodate additional car parking demand in on-street areas close to the subject site. These areas include both Olive Street (to the north) and Vine Avenue (to the south) with parking available within close walking distance to the site.

In terms of traffic to be generated by the subject development, I calculate that, at most, there would typically be of the order of 8 vehicles accessing the car park in any one hour period including both entry and exit movements.

I therefore consider that the volumes of traffic to be generated by the subject development will not be significant and will not adversely impact on the capacity of the adjoining road network.

Yours sincerely



Phil Weaver
Phil Weaver and Associates Pty Ltd

Attachment

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-OFF STREET PARKING OFFER FOR 129 CHURCHILL RD PROSPECT

Att: Robert Veitch

Dated: 27 OCTOBER 2016 rev A

Dear Robert,

In regards to the discussion around a potential offer to the City of Prospect Off-Street Parking fund please consider the following.

Firstly we would like to highlight that the report does imply that the parking short fall can be catered for under the existing circumstances, the discussion would seem to center around a value judgment on how far visitors would be expected to walk to access the apartment when parking on the street.

The report does also make mention of the historic short fall of around 4 spaces, which implies, the current situation will not be far from the proposed. Hence further legitimizing the evidence provided in the report.

Notwithstanding all of the above in the interest of the future development of the area we believe that a contribution would be socially appropriate. Based on the report and its findings and the current historic short fall it is difficult to put a firm number on the TRUE effect the "short fall" will have. The report seems to indicate that Friday evening look to be the peak time for on street parking, keeping in mind that this was done during school holidays so it could be assumed that this may well reflect one of the "worst case" situations.

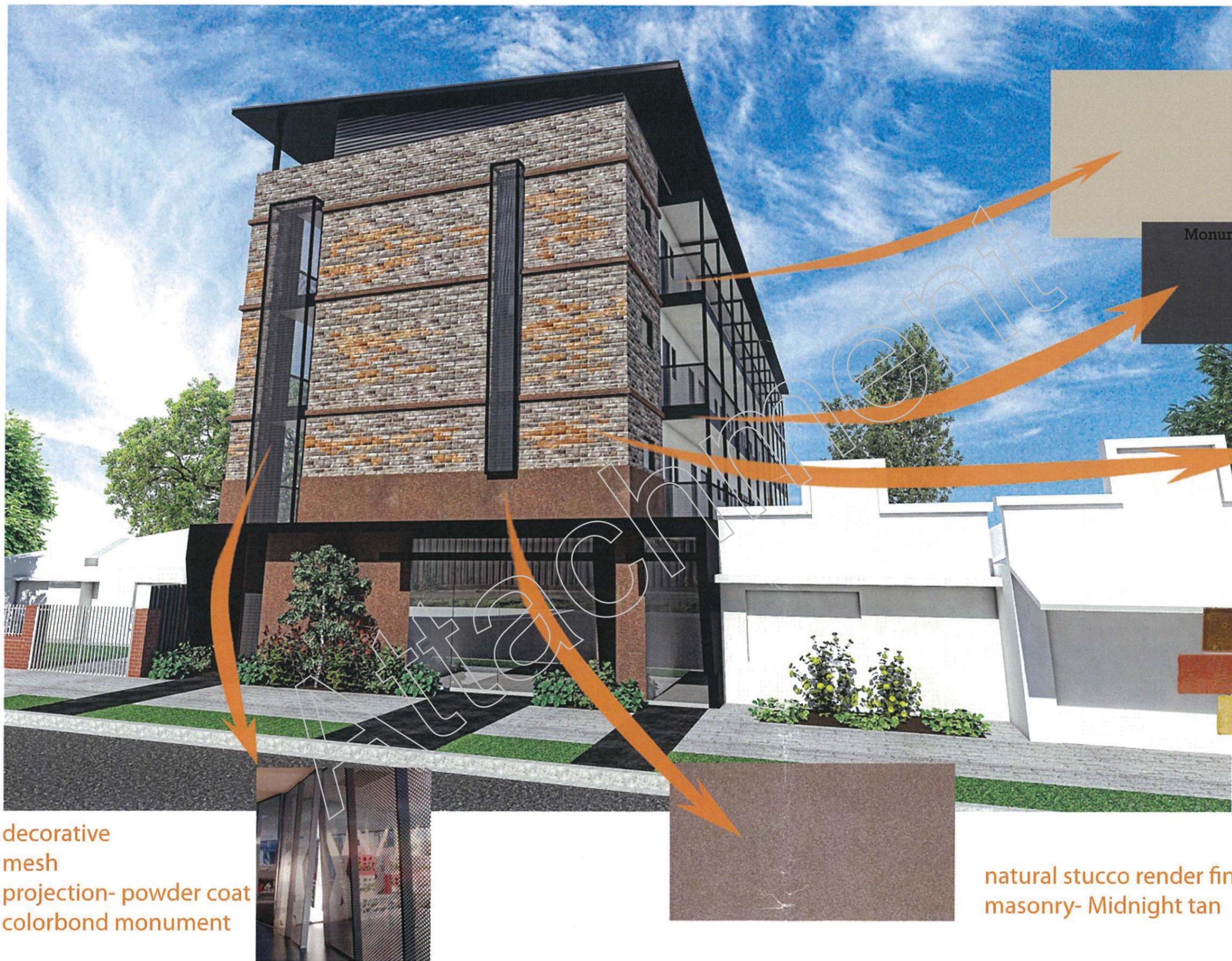
Based on the findings of the report, it could be extrapolated that during peak on street parking demand times, it may mean that visitors would need to park further away to access the site. As a result we can consider offering **\$9,000** as we believe that for the majority of the time there is enough capacity and capacity in the foreseeable future, to accommodate any perceived short fall. We believe that this offer is a reasonable contribution to be made for the future development of the precinct and its surrounding parking amenity, please note we are open to further discussion regarding this in order to achieve a prompt resolution, without seeking further deferral.

Kind Regards

Yianni Moschou, AGC///PROJECTS

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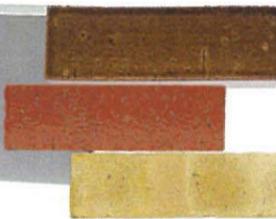
colorbond paperbark
flat panel cladding to infill walling
soffit and to clearstory

Monument

colorbond monument
paint finish
to steel work and doors
flat panel cladding to front
awning and roof soffit



recycled brick work to
front facade and returns
with alternating
applications of glazed bricks



natural stucco render finish to
masonry- Midnight tan

decorative
mesh
projection- powder coat
colorbond monument

129 churchill road- street views- materials palette- rev a

SEPTEMBER 2016 rev A 28/9/16

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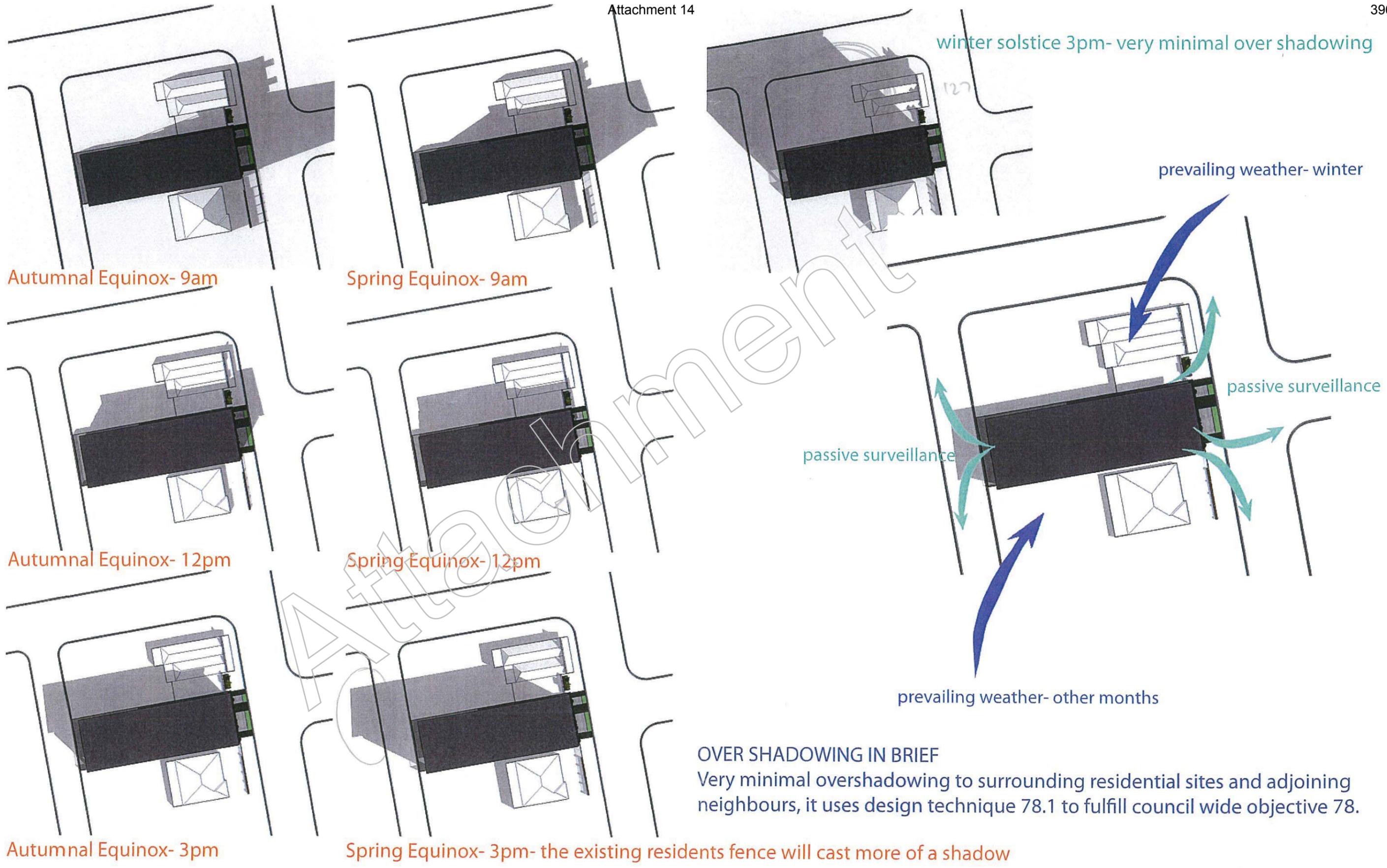
green facade to private balconies

WISTERIA- the concept
 To bring back craftsmanship into multi dwelling construction, The design utilizes
 -recycled brick work
 -traditional Australian forms such as the clerestory roof profile, to set the building into the existing landscape.
 North facing balconies with living, breathing green walls coupled with themed common areas and a retail cafe provide a sense of community and identity within the precinct.

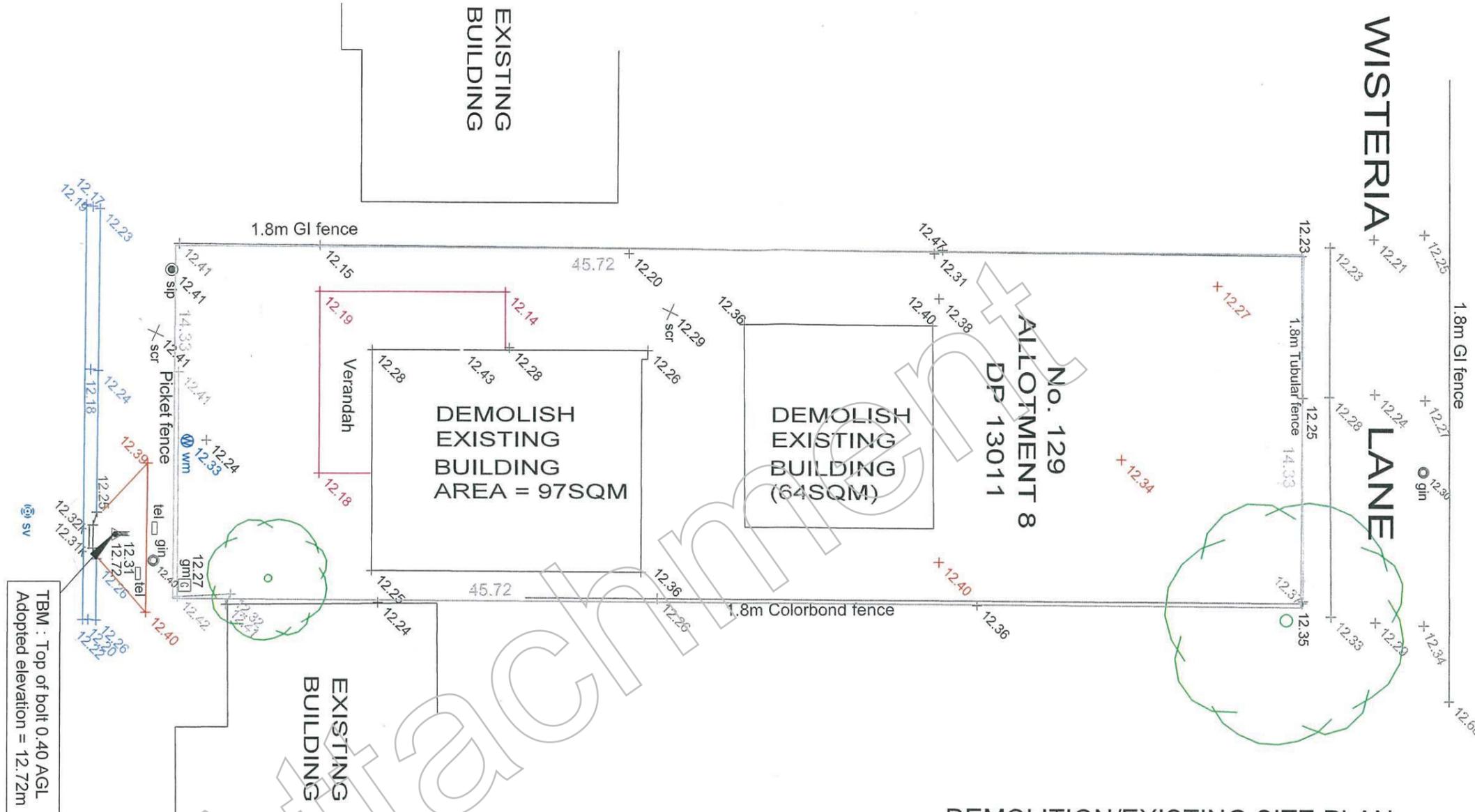
129 churchill road- street view

SEPTEMBER 2016 rev A 28/9/16

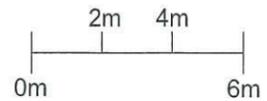
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OVER SHADOWING IN BRIEF
 Very minimal overshadowing to surrounding residential sites and adjoining neighbours, it uses design technique 78.1 to fulfill council wide objective 78.



DEMOLITION/EXISTING SITE PLAN
SCALE 1:200



planning

DEMOLITION NOTES

- PROVIDE TEMPORARY FENCING AS REQUIRED
- MAINTAIN EXISTING FENCING AS REQUIRED
- PROVIDE DUST CONTROL MEASURES DURING DEMOLITION BY WAY OF WATERING DOWN DURING DEMOLITION
- MAKE GOOD ANY SURROUNDING PAVING, CURBING AND ROAD WAY AS REQUIRED
- REMOVE TREE IN SOUTH WESTERN CORNER
- REMOVE ALL PAVING AND VEGETATION DURING DEMOLITION PROCESS
- PROVIDE DILAPIDATION REPORT PRIOR TO COMMENCING ANY SITE WORKS
- MAINTAIN UNRESTRICTED ACCESS TO WISTERIA LANE UNLESS PRIOR WRITTEN PERMISSION FROM PROSPECT CITY COUNCIL IS RECEIVED

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DATE 9TH SEPTEMBER 2016

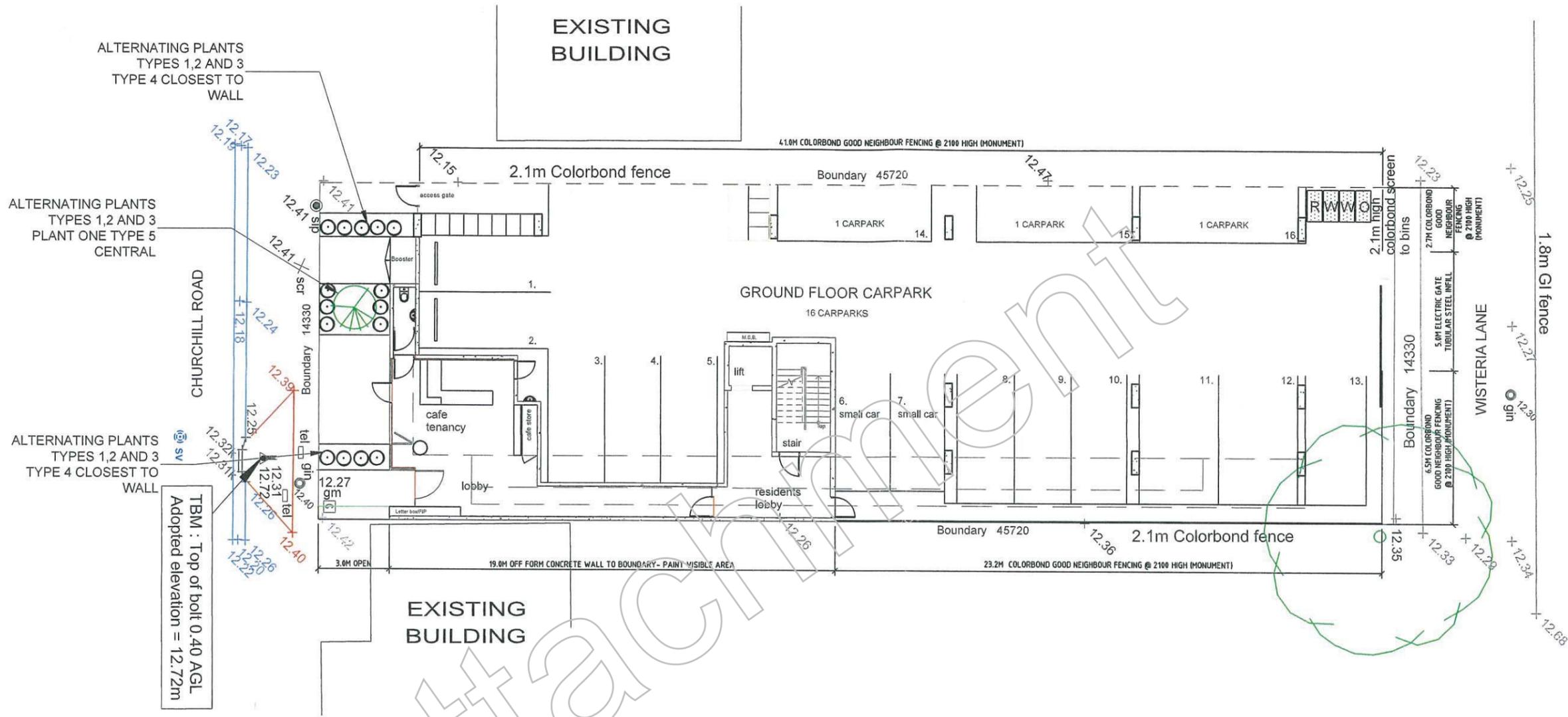
SCALE AS NOTED @ A3

CLIENTS MOSBANK
129 CHURCHILL RD
PROPSECT

PROJECT 129 CHURCHILL RD
PROPSECT

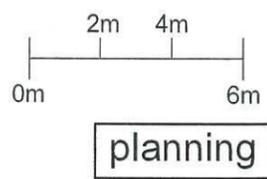
DRAWING TITLE	PAGE NO.
DEMOLITION PLAN	PL001





- LANDSCAPING LEGEND**
 TYPICAL GROUND COVER TO ALL LANDSCAPING BEDS
1. CHRYSOEPHALUM- YELLOW BUTTON
 2. CASURINA GLAUCA OVER EMBEDDED MOSS ROCK
 3. WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
 4. PLANT ONE ACMENA SMITHII 'HOT FLUSH' AT THE END OF EACH BED
 5. PLANT ONE SEMI MATURE BRACHYCHITON POPULNEUS X ACERIFOLIUS 'AUBURN FLAME'
- REINSTATE ALL SURROUNDING PAVING AS REQUIRED
 PROVIDE MULCH BASE TO PLANTERS
 -LANDSCAPING PLANTER BOXES
 PROVIDE A MIX OF
 -WESTRINGIA FRUCTICOSA NATIVE ROSEMARY
 -OCIMUM AMERICANUM NATIVE BASIL
 -JASMINUM DALLACHII-SOFT JASMINE (CLIMBERS)
 -HARDENBERGIA COMPTONIANA- NATIVE LILAC (CLIMBERS)

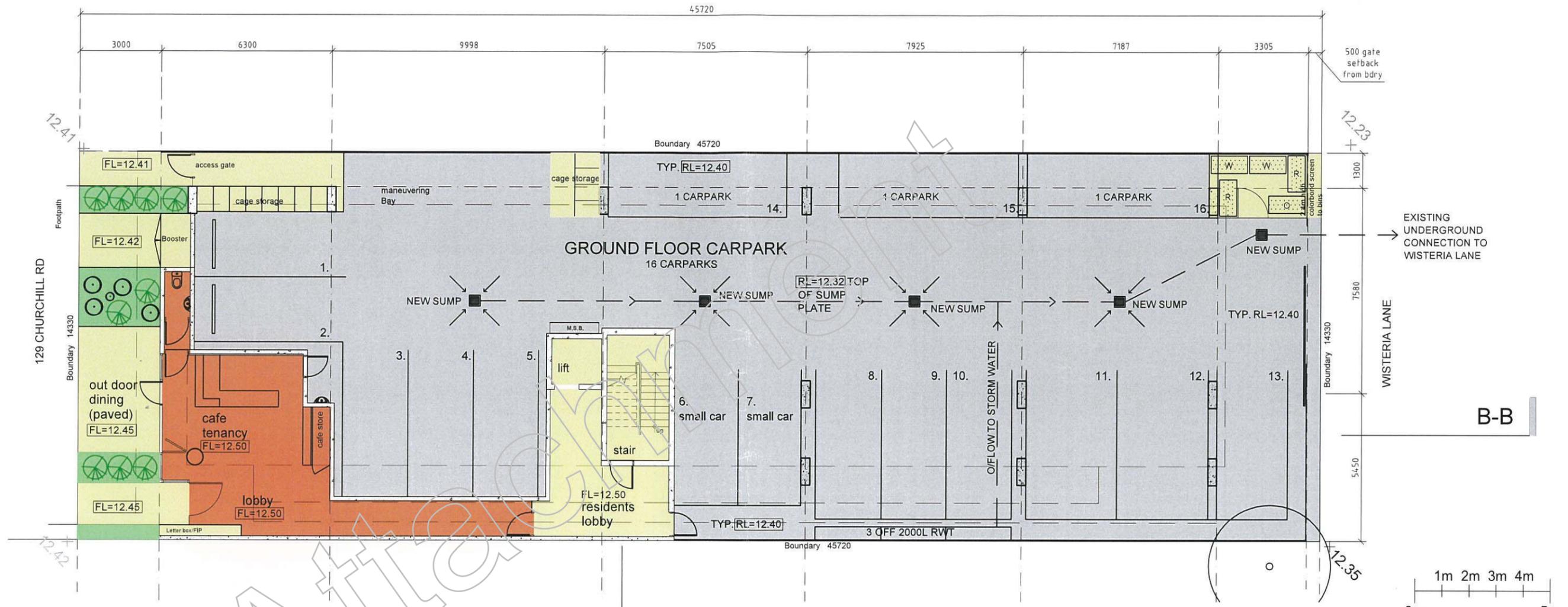
SITE PLAN
 SCALE 1:200



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SCALE	AS NOTED @ A3
CLIENTS	MOSBANK 129 CHURCHILL RD PROSPECT
PROJECT	129 CHURCHILL RD PROSPECT

DRAWING TITLE	PAGE NO.
SITE PLAN	PL101





- CONSTRUCTION NOTES**
- PARTITION WALLS
PLASTERBOARD DOUBLE STUD FIRE RATED WALL
 - GROUND FLOOR COLUMNS
PRECAST CONCRETE- STUCCO RENDR TO NORTH AND EASTERN COLUMNS NATURAL OFF FORM FINISH ELSEWHERE
 - EXTERNAL INFILL WALLING
STEEL STUD FRAME WITH PLASTERBOARD INTERNALLY WITH INSULATED COLORBOND WALL EXTERNALLY
ABOVE LEVEL 3 CEILING STEEL FRAMING WITH COLORBOND OVER
 - INTERNAL PARTITION WALLING
NOM. 64MM STUD FRAME WITH 10MM PLASTER BOARD
 - INTERNAL CEILING
13MM PLASTERBOARD ON SUSPENDED FRAME
 - EXTERNAL CEILINGS
FLUSHED CFC SHEET ON SUSPENDED FRAME
 - SETDOWNS
-20MM SET DOWNS TO BATHS AND LAUNDRIES
-50MM SETDOWN TO WALKWAYS AND BALCONIES
-FALL GROUND FLOOR SLAB TO MID LINE OF SLAB- GRADED BACK TO SUMPS EVERY 6-8M
 - STAIRS
STEEL STAIRS, LANDINGS AND HANDRAILS
 - CONSTRUCTION LOAD
-WALKWAY TO TAKE MOBILE LOAD UP TO TWO TONNES DURING CONSTRUCTION

- COMMON AREA
- CAFE TENANCY AND WALKWAY
- CARPARK
- LANDSCAPED AREA

WASTE MANAGEMENT
Refer to separate attachment for detailed brief
Bin enclosure to be 2.4m high Good Neighbour style fencing with 1.1m wide door on a spring closer, basic latch to open and close
Minimum enclosure area 9.0sqm

GROUND FLOOR
SCALE 1:150

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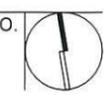
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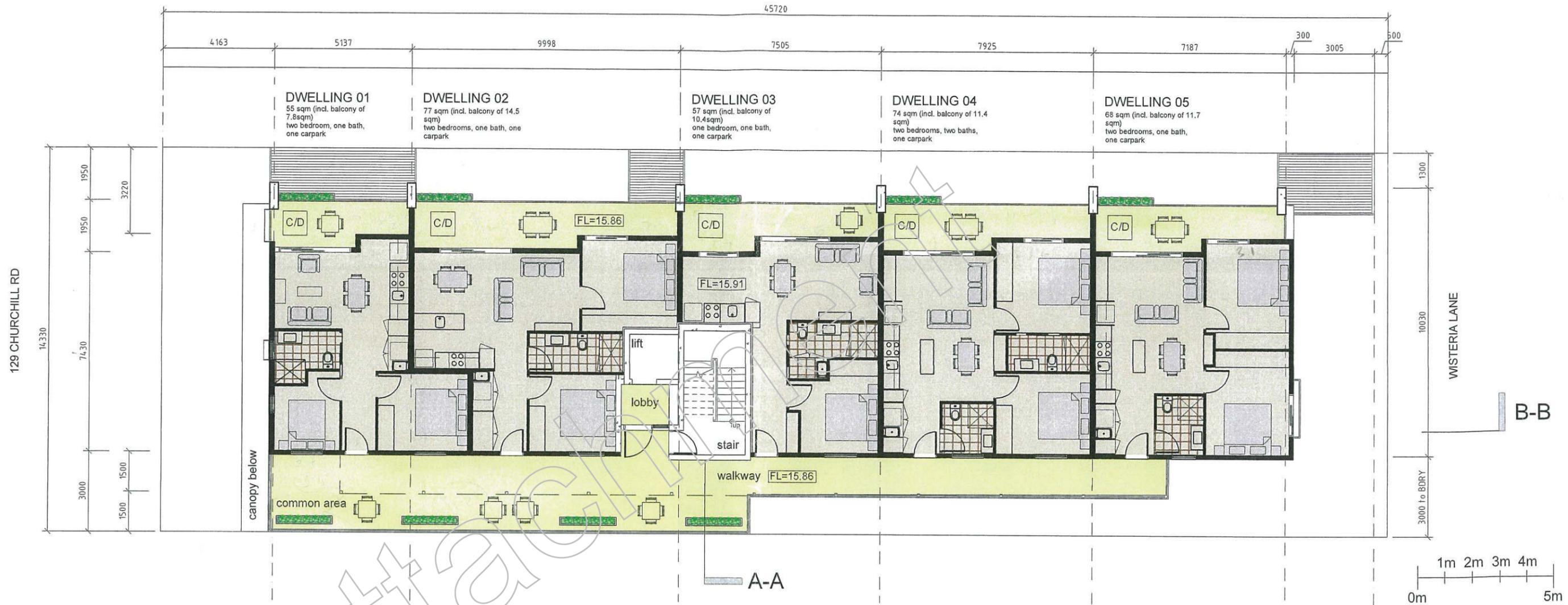
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PROSPECT

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PAGE NO. PL201

planning





FIRST FLOOR
SCALE 1:150

CONSTRUCTION NOTES

- EXTERNAL FLOORING WALKWAY
300X300 TILING
- BEDROOM FLOORING
HARDWOOD FLOOR WITH CARPET INLAY
- LIVING ROOM FLOORING
HARDWOOD FLOATING FLOOR
- BATHROOM FLOORING AND WALLS
TIMBER LOOK TILING TO FLOOR
WHITE 300X300 TILING TO WALLS WITH MOSAIC INLAYS

- COMMON AREA
- CAFE TENANCY AND WALKWAY
- CARPARK
- LANDSCAPED AREA

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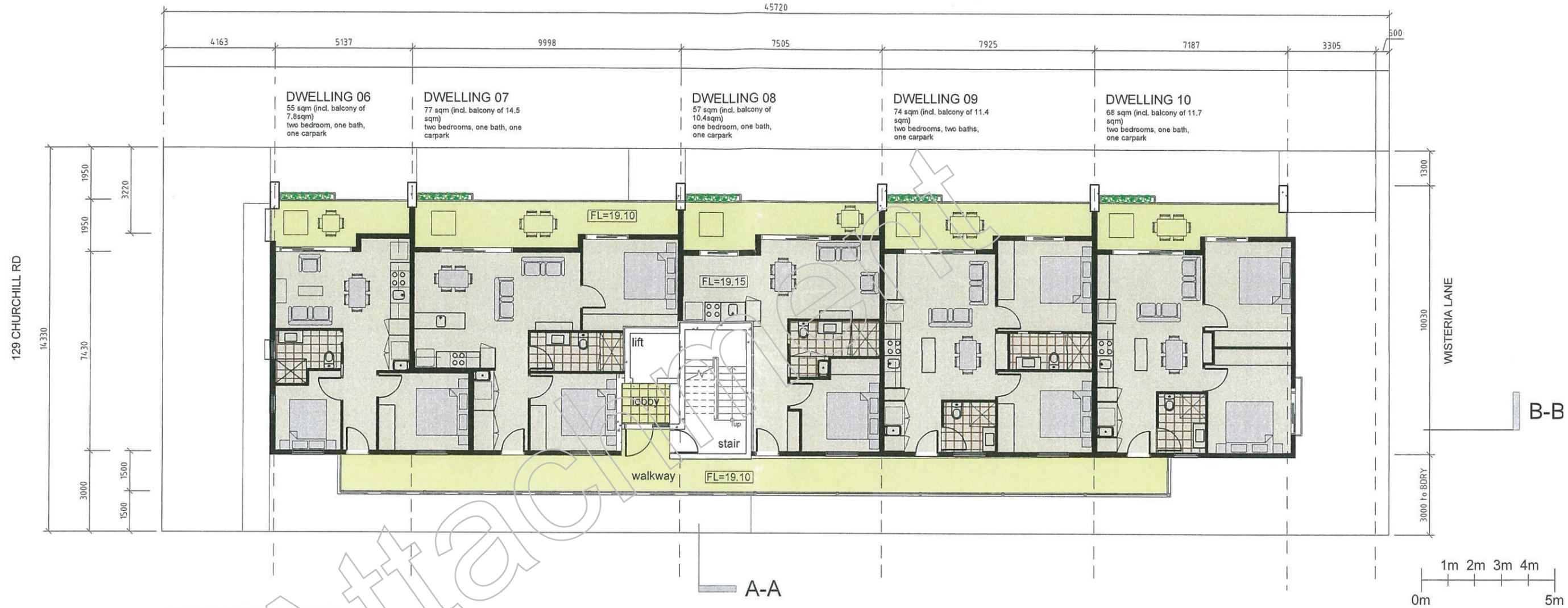
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SECOND FLOOR
SCALE 1:150

CONSTRUCTION NOTES

- JOINERY FINISHES
- STONE BENCH TOPS
- VINYL WRAP TO CUPBOARDS
- STAINLESS STEEL LOOK KICKERS
- MIRROR SLIDING DOORS TO ROBES

- SANITARY FINISHES
- PORCELAIN VANITY TOPS WITH GLOSS FINISHED CUPBOARD
- MIRROR CABINETS ABOVE

- WALKWAYS AND BALCONIES
- INTERNAL DWELLING AREA
- LANDSCAPED AREA

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SCALE AS NOTED @ A3

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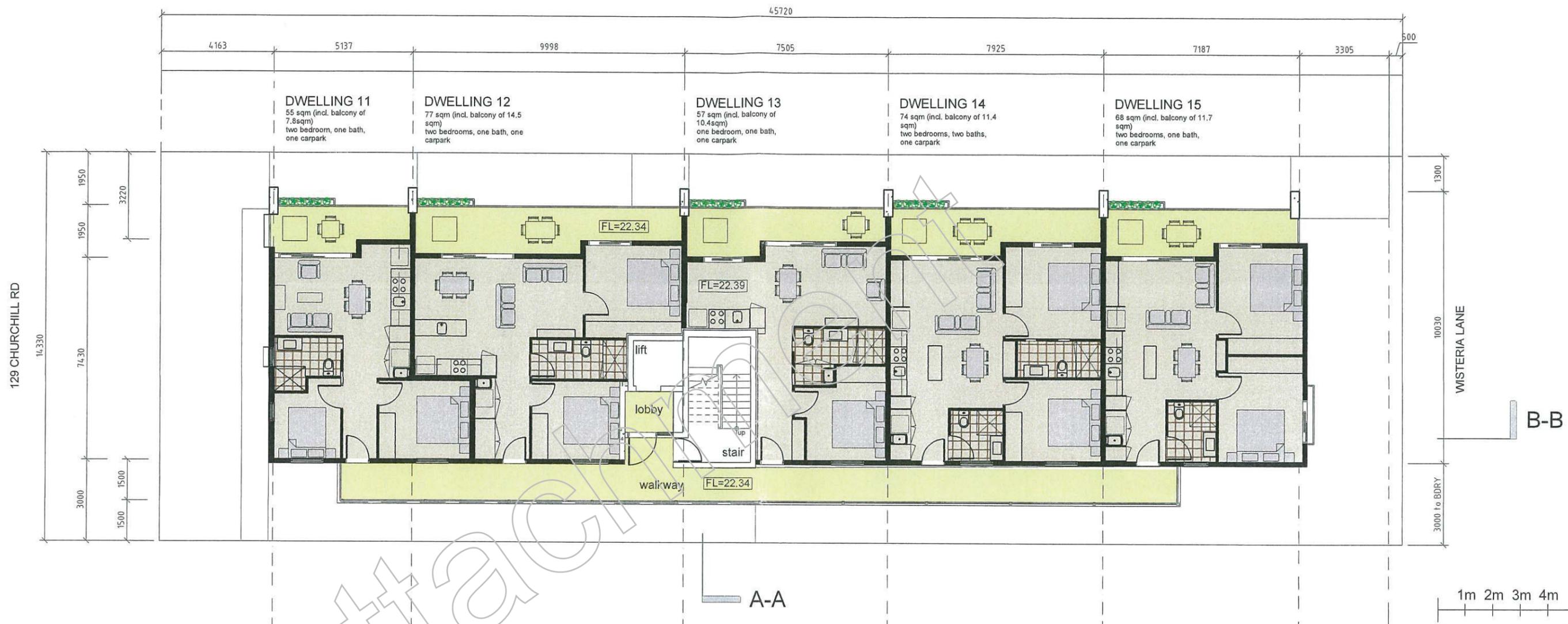
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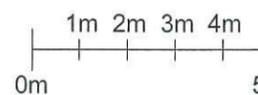
planning

B-B

A-A



THIRD FLOOR
SCALE 1:150



CONSTRUCTION NOTES

-PAINT COLOURS

INTERNAL CEILINGS, CEILING WHITE
WALLS

ANTIQUÉ WHITE 1/2 STRENGTH

-STAIRS

CONCRETE PAINT FINISH TO INTERNAL VISIBLE FACES

-DOORS

P50 SURROUND TO TIMBER FRAMES, CAULKED AND PAINTED ANTIQUÉ WHITE HALF STRENGTH

METAL FIRE FRAMES WHERE REQUIRED ACRYLIC PAINT FINISH

TIMBER DOOR LEAVES INTERNALLY WITH EDGE STRIPPING FIRE DOORS EXTERNALLY.

WINDOWS

NATURAL ANODISED FRAMES WITH DOUBLE GLAZING AS REQUIRED

- WALKWAYS AND BALCONIES
- INTERNAL DWELLING AREA
- LANDSCAPED AREA

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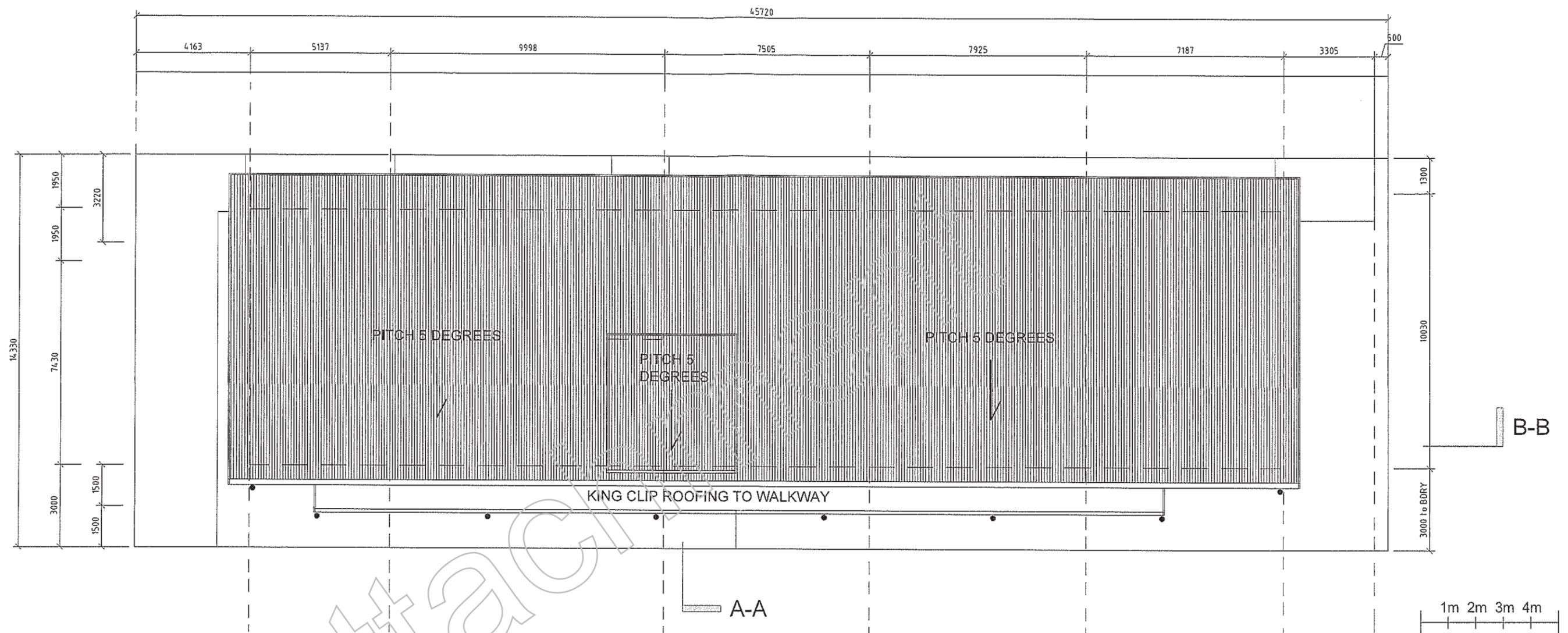
SCALE AS NOTED @ A3

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ROOFING PLAN
SCALE 1:150

ROOF CONSTRUCTION NOTES

- COLORBOND CUSTOM ORB ROOFING ON 5DEGREE PITCH
- COLORBOND SURFMIST TO ROOFSHEETING
- COLORBOND MONUMENT TO FASCIAS AND GUTTERS
- COLORBOND MONUMENT DOWN PIPES

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SCALE AS NOTED @ A3

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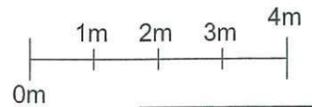
PROJECT 129 CHURCHILL RD
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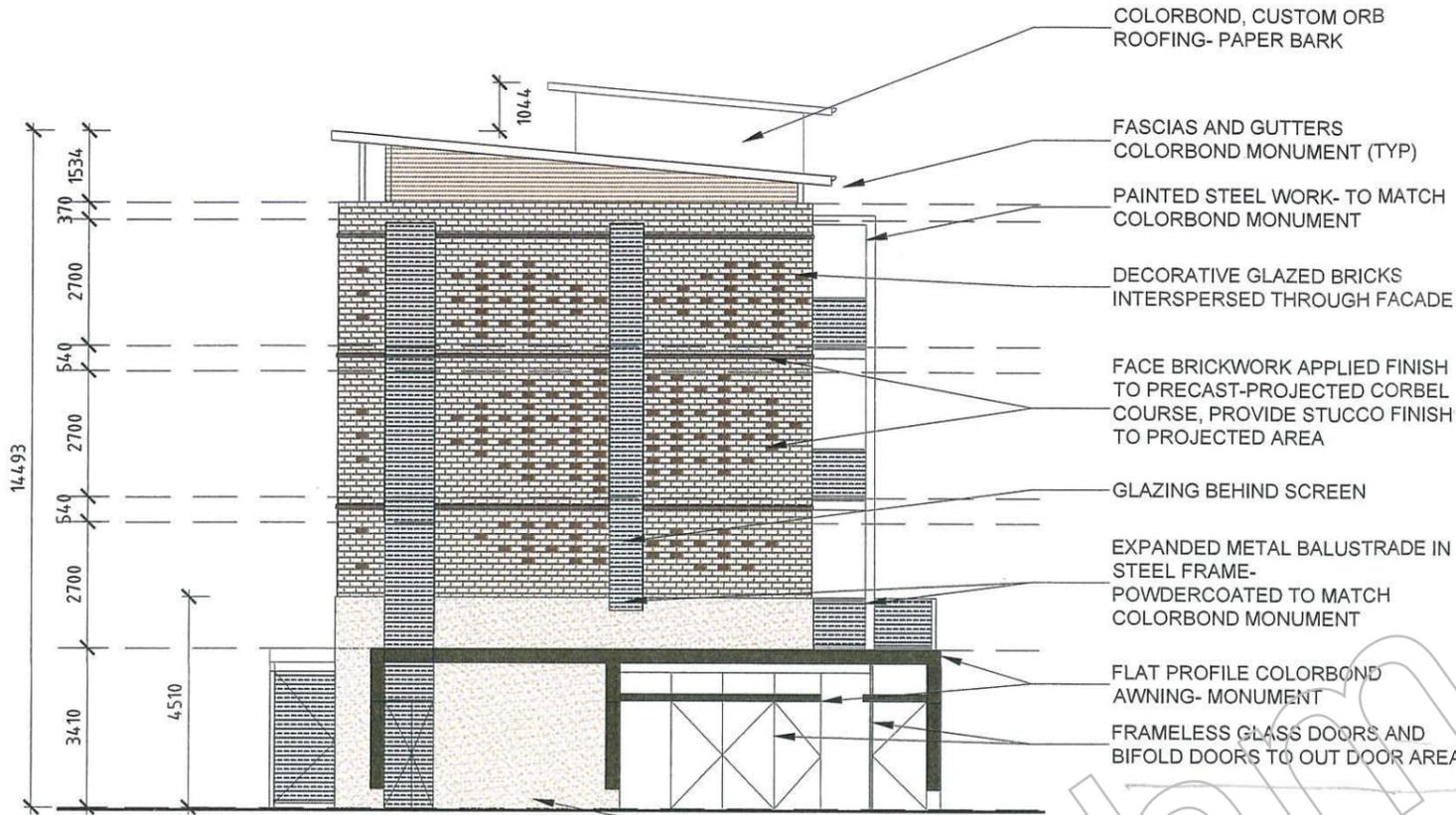
WEST ELEVATION- streetscape
SCALE 1:110 @ A3



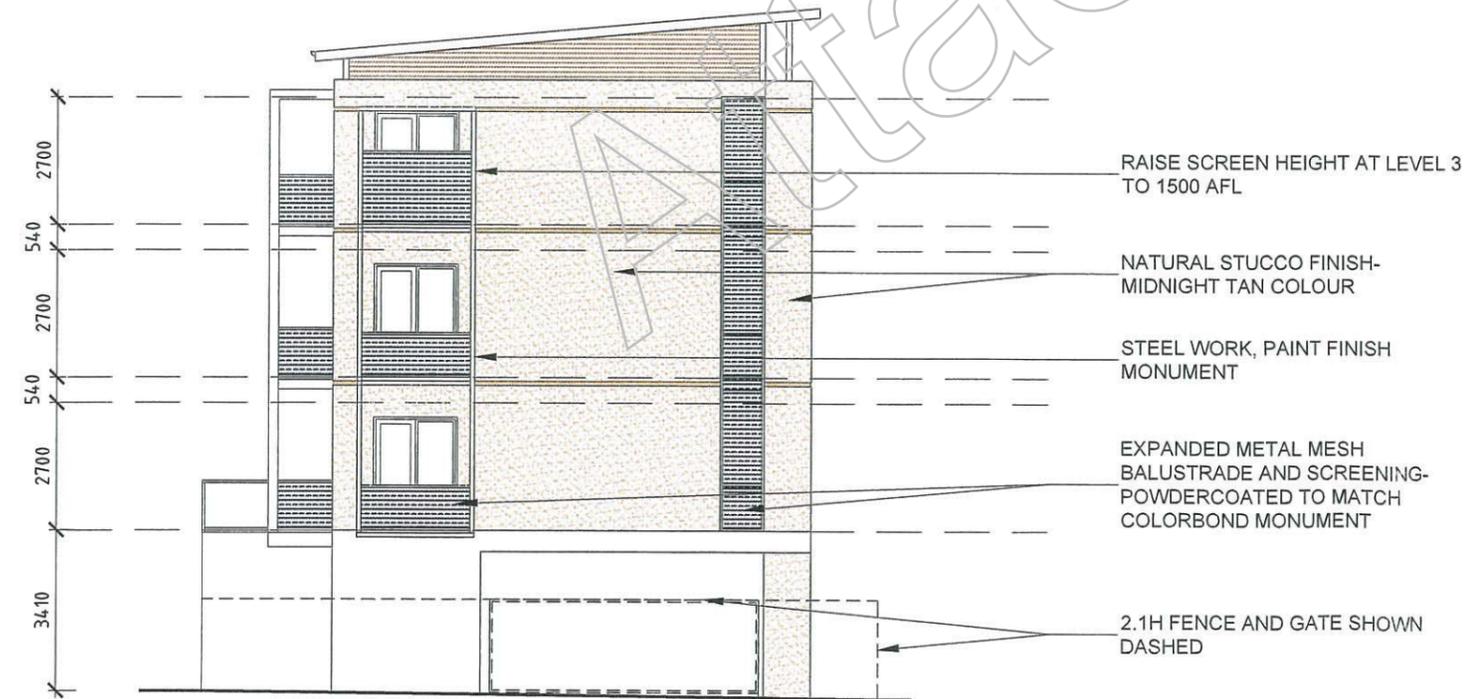
planning

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DATE	9TH SEPTEMBER 2016
SCALE	AS NOTED @ A3
CLIENTS	MOSBANK 129 CHURCHILL RD PROSPECT
PROJECT	129 CHURCHILL RD PROSPECT
DRAWING TITLE	ELEVATIONS
PAGE NO.	PL301





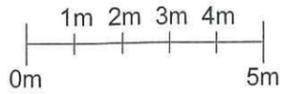
WEST ELEVATION
SCALE 1:150 @ A3



EAST ELEVATION
SCALE 1:150 @ A3

- COLORBOND, CUSTOM ORB ROOFING- PAPER BARK
- FASCIAS AND GUTTERS COLORBOND MONUMENT (TYP)
- PAINTED STEEL WORK- TO MATCH COLORBOND MONUMENT
- DECORATIVE GLAZED BRICKS INTERSPERSED THROUGH FACADE
- FACE BRICKWORK APPLIED FINISH TO PRECAST-PROJECTED CORBEL COURSE, PROVIDE STUCCO FINISH TO PROJECTED AREA
- GLAZING BEHIND SCREEN
- EXPANDED METAL BALUSTRADE IN STEEL FRAME- POWDERCOATED TO MATCH COLORBOND MONUMENT
- FLAT PROFILE COLORBOND AWNING- MONUMENT
- FRAMELESS GLASS DOORS AND BIFOLD DOORS TO OUT DOOR AREA
- NATURAL STUCCO FINISH- MIDNIGHT TAN COLOUR

- RAISE SCREEN HEIGHT AT LEVEL 3 TO 1500 AFL
- NATURAL STUCCO FINISH- MIDNIGHT TAN COLOUR
- STEEL WORK, PAINT FINISH MONUMENT
- EXPANDED METAL MESH BALUSTRADE AND SCREENING- POWDERCOATED TO MATCH COLORBOND MONUMENT
- 2.1H FENCE AND GATE SHOWN DASHED



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SCALE AS NOTED @ A3

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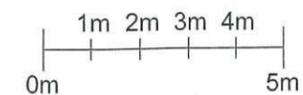
NORTH ELEVATION

SCALE 1:150 @ A3



NORTH ELEVATION

SCALE 1:150 @ A3- screens and balconies removed



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P. 08 83429973 F. 08 83429974 W. agcprojects.com.au

DATE 9TH SEPTEMBER 2016

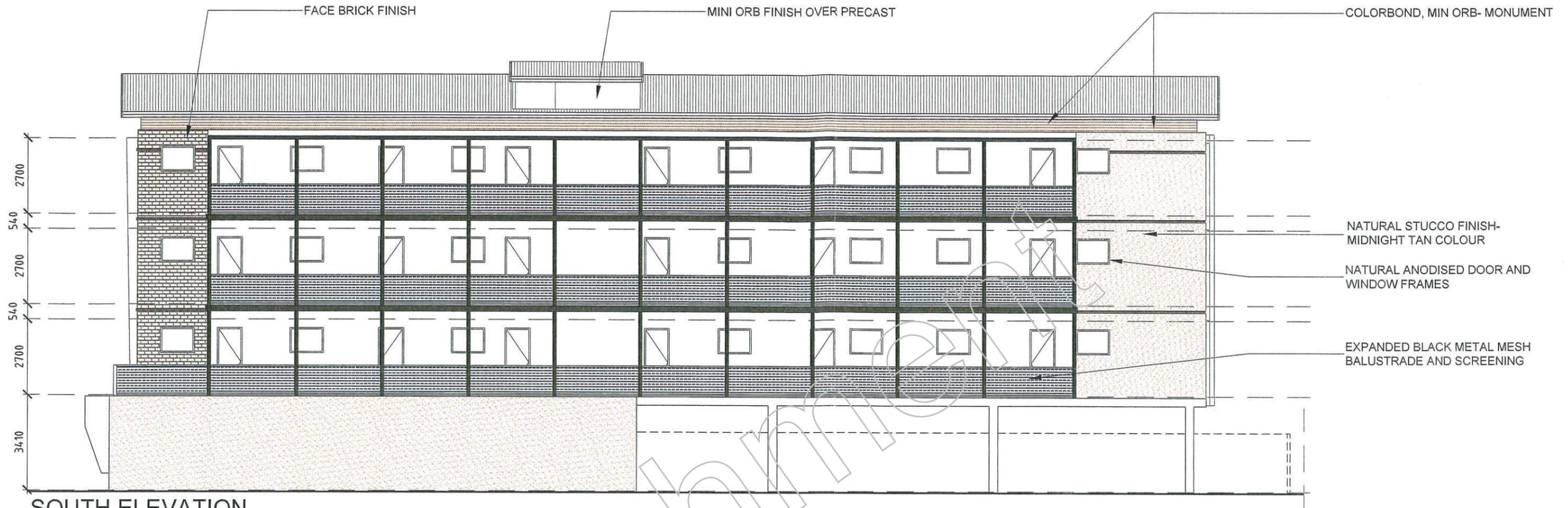
SCALE AS NOTED @ A3

CLIENTS MOSBANK
129 CHURCHILL RD
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PROJECT 129 CHURCHILL RD
PROSPECT

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SOUTH ELEVATION
SCALE 1:150 @ A3



SOUTH ELEVATION
SCALE 1:150 @ A3- screens and balconies removed

planning

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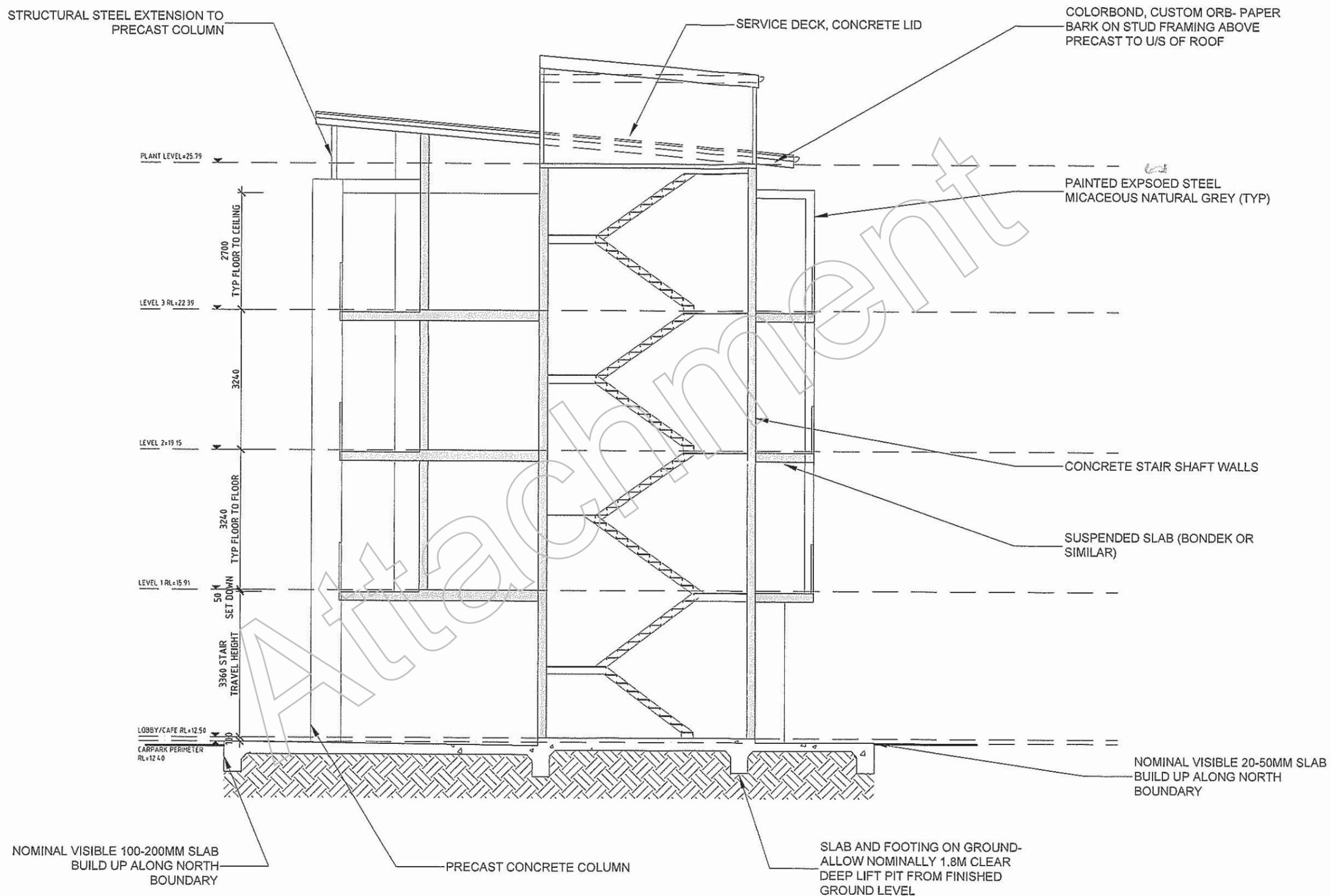
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PROSPECT

PROJECT 129 CHURCHILL RD
PROSPECT

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SECTION A-A
SCALE 1:100 @ A3

planning

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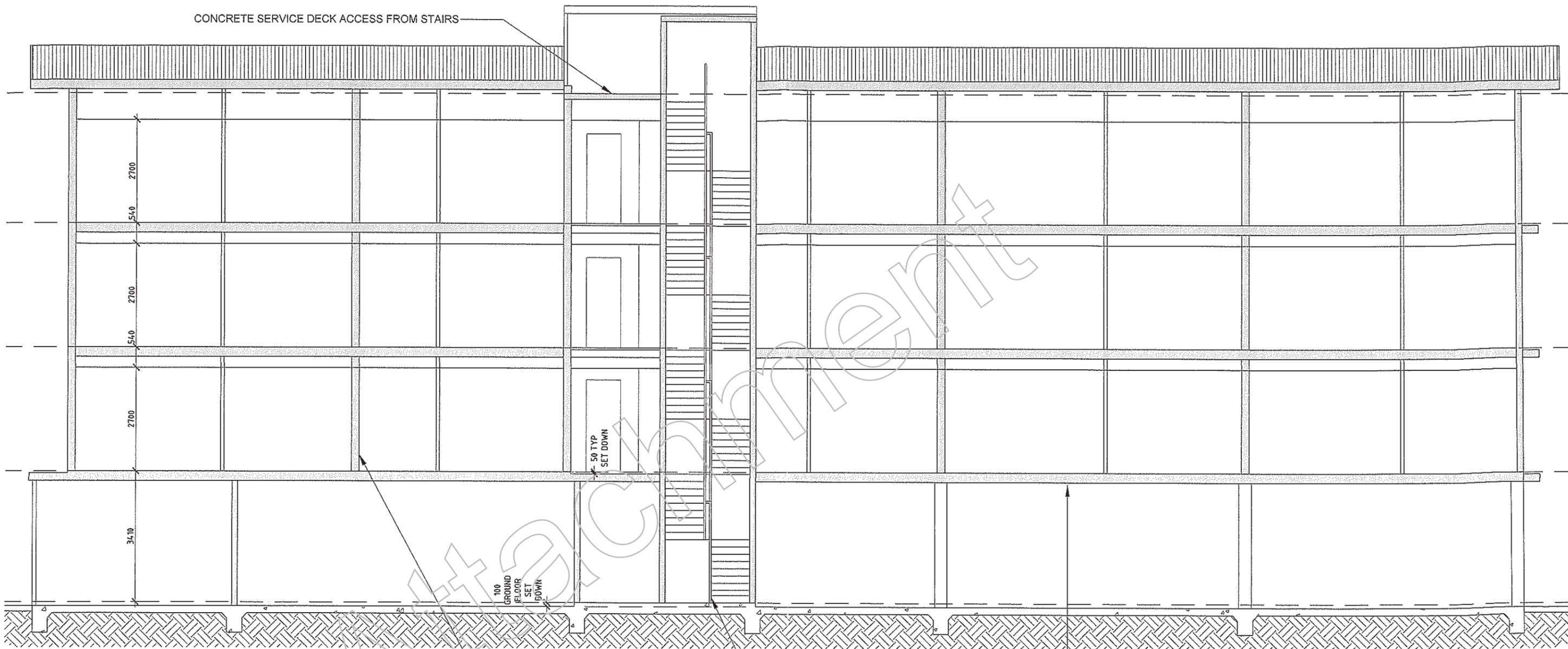
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PROSPECT

PROJECT 129 CHURCHILL RD
PROSPECT

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SECTION B-B
SCALE 1:100 @ A3

PLASTERBOARD PARTITION WALL SYSTEM

GALVANIZED STEEL STAIR CASE AND HAND RAILS

SUSPENDED CONCRETE SLABS

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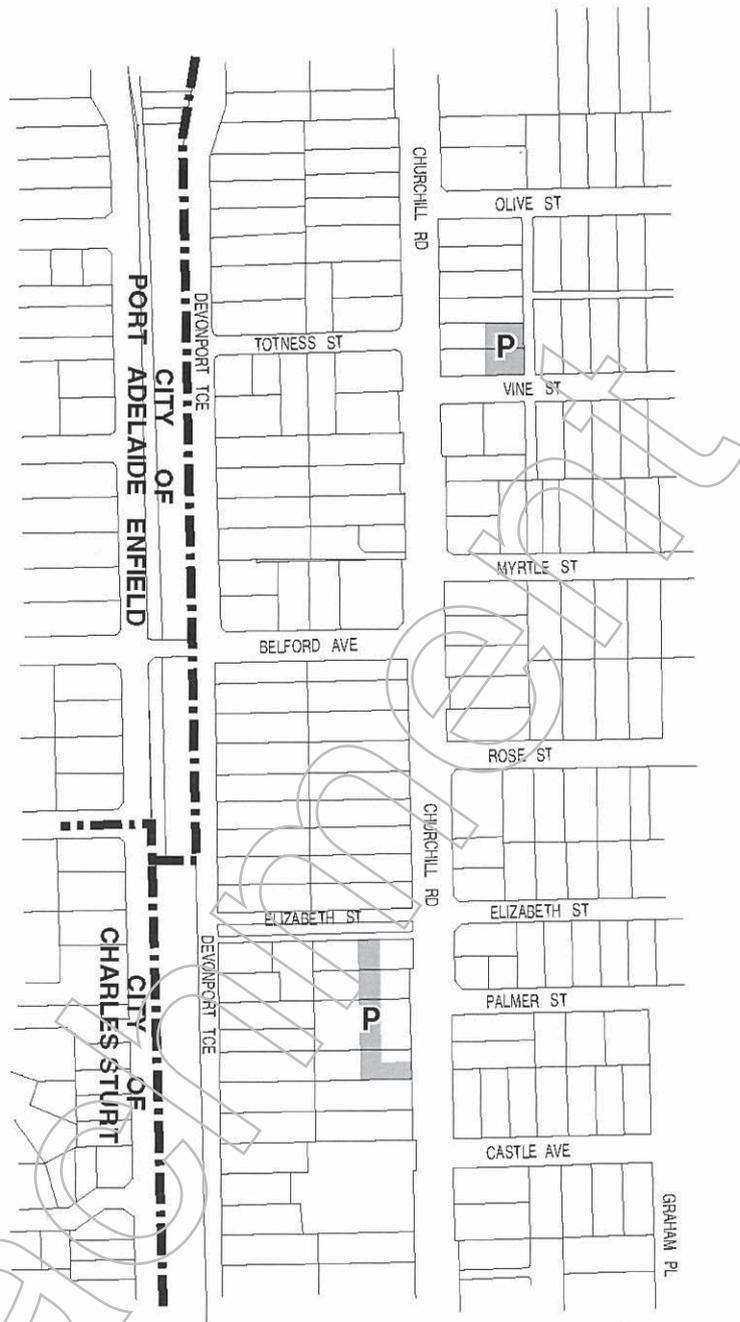
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planning

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SECTION B-B

PAGE NO.
PL402





**PROSPECT (CITY)
 POTENTIAL FOR SHARED PARKING
 CONCEPT PLAN
 Fig ShP/2**

P Potential for Shared Parking

AGENDA ITEM: 6.2 COMPROMISE PROPOSAL (ERD COURT PROCESS)**To:** Development Assessment Panel (DAP) on 14 November 2016**From:** Scott McLuskey, Acting Manager Development Services**Proposal:** Four, Three Storey Residential Flat Buildings comprising 8 Dwellings with Landscaping (DA 050/333/2016)**Address:** 107 Churchill Road, Prospect (CT 5397/836)**SUMMARY:**

Applicant: Rossdale Homes Pty Ltd

Owner: CC Structured Finance Pty Ltd

Planning Authority: Council

Mandatory Referrals: Nil

Internal Referrals: Nil

Public Notification: Category 1

Representations: Not applicable

Respondent: Not applicable

Development Plan Version: Consolidated 21st April 2016

Zone and Policy Area: Urban Corridor Zone (Boulevard Policy Area)

Key Considerations: Occupant Amenity, Design Quality, Site Overdevelopment

Recommendation: That the DAP advises the Environment, Resources and Development Court that the compromise proposal is accepted**ATTACHMENTS:**

<u>Attachments 1-7</u>	Revised Proposal Plans
<u>Attachments 8-11</u>	Correspondence from Applicant
<u>Attachments 12-18</u>	Superseded Proposal Plans

1. **EXECUTIVE SUMMARY**

- 1.1 The Development Assessment Panel (DAP) previously considered the original proposal, for two, three storey residential flat buildings comprising 10 dwellings at 107 Churchill Road Prospect, at its meeting of 12 September 2016.
- 1.2 The DAP refused the proposal noting several aspects of the development that were of concern, which included future occupant amenity outcomes, the overall design quality of the proposed buildings, and that these concerns gave rise to the proposal being an overdevelopment of the site. The applicant has subsequently lodged an appeal against this decision with the Environment, Resources and Development Court. As part of this process, the applicant has prepared a compromise proposal for consideration by the DAP.
- 1.3 The compromise proposal would retain the general configuration of the original proposal, though would reduce the number of dwellings from 10 to 8. The 8 dwellings proposed would be constructed within four detached residential flat buildings, with six of the dwellings now proposed to have ground level private open space. The revised proposal would also incorporate additional landscaping treatments and substantially improved natural light and ventilation treatments. The compromise proposal is thus considered to suitably address the concerns previously identified and therefore warrants support.

2. **BACKGROUND**

- 2.1 At its meeting of 12 September 2016 the DAP refused the application, noting that the proposal would:
- Fail to achieve desired occupant amenity outcomes, particularly relating to ventilation and sunlight access.
 - Fail to achieve the level of design quality desired, particularly in relation to the building form and proportions, and the quality of materials and finishes used.
 - As a result of the above, would be an overdevelopment of the subject site.
- 2.2 The reports from previous DAP meetings are available for viewing on the City of Prospect website (www.prospect.sa.gov.au). The original proposal plans previously considered by the DAP at its 12 September 2016 meeting are attached for the DAP's reference (refer **Attachments 12-18**).
- 2.3 The applicant has subsequently provided revised proposal plans (refer **Attachments 1-7**) and a supplementary submission from an experienced planning consultant engaged by the applicant (refer **Attachments 8-11**) addressing the matters described above.

3. **PLANNING COMMENTARY**

- 3.1 The compromise proposal has been submitted in an attempt to address the concerns previously raised by the DAP in refusing the application. If supported by the DAP, then the appeal potentially proceeds no further, assuming that the appellant and the relevant Commissioner of the Environment, Resources and Development (ERD) Court agrees to any conditions recommended by the DAP.
- 3.2 In any event, the matter is set down for a conciliation conference on Tuesday 22 November 2016 before a Commissioner of the ERD Court.

4. PLANNING ASSESSMENT

4.1 Refusal Matter 1: Occupant Amenity

4.1.1 As a result of the revised number of dwellings and revised building configuration; six of the dwellings would now be provided with ground level private open space, while all habitable rooms within each dwelling would have direct access through external windows to natural light and ventilation. The first floor layout within each dwelling has been altered such that the bathroom would receive natural light and ventilation through vented skylights.

4.1.2 The location of rainwater tanks, bin storage and clothes drying has been designated at ground level, such that upper level balconies directly accessed from living areas are now not required to service these functions. If the compromise proposal is supported, a condition relating to the screening of bin storage areas associated with Dwellings 1 and 5 is recommended.

4.2 Refusal Matter 2: Design Quality

4.2.1 As a result of the revised number of dwellings, building separation and dwelling entry locations; additional landscaping of greater quality is proposed throughout common areas, while the mass and extent of boundary walls is decreased. Contrasting paving and medium height tree plantings would better identify dwelling entries and offer an improved pedestrian interface.

4.2.2 It is noted that the proposed building form, materials and architectural expression are unchanged from the original proposal as viewed from Churchill Road. It is noted that the supporting statement addresses these matters; with the consulting planner concluding that improvements to internal building form and landscaping, in conjunction with the varied palette of materials and finishes proposed to the Churchill Road façade, result in the proposal achieving the level of design quality desired by the Development Plan.

4.3 Refusal Matter 3: Overdevelopment

4.3.1 As a result of the revisions described above, it is considered that previous concerns relating to overdevelopment have been resolved.

5. CONCLUSION AND RECOMMENDATION

5.1 Summarised briefly, the amended proposal addresses the deferral matters by:

1. *Reduction in the number of dwellings proposed from 10 to 8.*
2. *Separation of the two residential flat buildings into four residential flat buildings.*
3. *Provision of ground level private open space to 6 of the dwellings.*
4. *Revisions to the configuration of the ground and first floor of each dwelling, such that all habitable rooms receive natural light and ventilation via external windows.*
5. *Revised landscaping plan with additional landscaping areas and tree plantings.*
6. *Revised dwelling entry locations, with associated paving and canopy treatments.*

5.2 In line with the earlier discussion in this report, the application is considered to be sufficiently consistent with the relevant provisions of the Prospect (City) Development Plan and it is thus recommended:

That the Environment, Resources and Development Court be advised that Council is supportive of the compromise proposal for DA 050/333/2016 from Rossdale Homes Pty Ltd for Two, Three Storey Residential Flat Buildings comprising 10 Dwellings with associated Waste Storage and Landscaping at 107 Churchill Road Prospect (CT 5397/836), subject to the following reserved matters, conditions and notes:

Reserved Matters:

1. A detailed stormwater management plan shall be provided, and shall demonstrate that post-development outflow rates from the site will match pre-development rates in 1 in 20 ARI storm events. The location and capacity of any on-site detention tanks, as well as the extent of any fill and associated retaining walls, shall be clearly described.

Conditions:

1. The development shall take place in accordance with plans and details stamped by Council relating to Development Application number 050/333/2016, except as modified by any conditions detailed herein. All works detailed in the approved plans and required by conditions are to be completed prior to the occupation of the approved development.
2. All driveways, parking and manoeuvring areas must be formed, surfaced with concrete, bitumen or paving, and be properly drained. The surfacing of the driveway and drainage shall be maintained to the reasonable satisfaction of Council thereafter. Driveways, car parking spaces, manoeuvring areas and landscaping areas shall not be used for the storage of materials or goods including waste products and refuse.
3. The southern facing upper level windows and balconies of the northern building, with the exception of stairwell windows, shall have:
 - a) Minimum window sill heights of 1.5m above finished floor level; or
 - b) Fixed and obscured glass to a minimum height of 1.5m above floor level; or
 - c) An awning window with obscured glass to a minimum height of 1.5m above floor level, with an opening restricted to no more than 150mm; or
 - d) Permanently fixed external screens that provide an effective screening height of 1.5m above the upper floor level and complement the external appearance of the building.

The screening solution(s) shall be established prior to occupation of the building and maintained to the reasonable satisfaction of Council at all times thereafter.
4. Screening devices shall be provided to the bin storage areas associated with Dwellings 1 and 5 that adequately screen the bins from view to the reasonable satisfaction of Council. These devices shall be installed prior to occupation of the dwellings and maintained thereafter to the satisfaction of Council.
5. Air-conditioning units and solar hot water heaters shall be provided with screening devices designed to complement the colours, materials and finishes of the building approved herein, and shall be sited to adequately screen the units from view to the reasonable satisfaction of Council.
6. Lighting to driveways, parking and manoeuvring areas shall be lit in accordance with the Australian Standard for Lighting for Roads and Public Spaces (AS1158.1 and AS1158.3) during the hours of darkness that they are in use and accessible by the general public.

7. All works on Council land shall be conducted to Council's specification. Footpaths adjacent to the site are to be kept in a safe condition for pedestrians at all times during construction works. All driveways and footpaths traversed by vehicles using the site are to be maintained in a reasonable condition for the duration of the works, and are to be reinstated to the satisfaction of Council on completion of the works.

No obstruction of the footpath or roadway may occur without the prior permission of Council. For further advice, please contact Council's Infrastructure and Environment Department on 8269 5355.

8. The landscaping shall be planted in accordance with the approved plans prior to occupancy of the development. Mature trees shall be no less than 2.0m in height at time of planting. All landscaping areas shall be maintained at all times to the reasonable satisfaction of Council. The applicant or the persons for the time being making use of the subject land shall cultivate, tend and nurture the landscaping, and shall replace any landscaping that becomes diseased or dies. An automated drip irrigation or similar watering system shall be established and maintained to ensure that sufficient water is available to satisfy the needs of the landscaping species selected.
9. During construction of the development approved herein, measures will be implemented to ensure that the construction works do not result in an unreasonable impact on occupiers of adjacent properties or pollution of existing infrastructure through drag-out or stormwater runoff. Measures shall include as necessary:
 - a) A hard surface and controlled washing zone at the entry/exit points to the site, designed to reduce the potential for mud and material dragged out by construction vehicles; and
 - b) Containment of stormwater run-off within the site, which if being discharged into the stormwater system will be filtered to the satisfaction of Council; and
 - c) Reduction of the potential for dust and other airborne particles by the use of water sprinklers and/or other means of containment; and
 - d) The establishment of an appropriate storage compound for waste materials and litter. No building waste material shall be stored outside of the storage compound or similar industrial bin; and
 - e) All mechanical equipment shall be used in a manner to minimise the potential for noise pollution and ensure compliance with the requirements of the Environment Protection (Noise) Policy.
10. To ensure compliance with applicable standards as described in the Environment Protection (Noise) Policy established under the Environment Protection Act, construction activities shall only take place between the hours of 7:00am and 7:00pm, Monday to Saturday inclusive, and not on Sundays or public holidays.
11. A minimum of three bicycle parking spaces shall be installed in safe and convenient locations with common property areas prior to the occupation of any dwelling.

Advisory Notes:

- (1) Pursuant to Section 86(1)(a) of the Development Act, 1993, you have the right of appeal to the Environment, Resources and Development Court against either 1) a refusal of consent or 2) any condition(s) which have been imposed on a consent. Any such appeal must be lodged with the Court within two (2) months from the day on which you receive this notification or such longer period as may be allowed by the Court.

The Environment, Resources and Development Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide SA 5000 (Postal Address: GPO Box 2465, Adelaide SA 5001).

- (2) The development plan consent granted herein is effective for a period of twelve (12) months from the date of the decision. Unless Council extends this period, building rules consent is required within this time or the consent will lapse.

Any request for an extension of the operative period of the consent must be submitted to Council in writing, accompanied by the applicable fee.

- (3) The construction of the building shall be undertaken in accordance with the Ministers Specification SA78B – Construction requirements for the control of external sound. Compliance with the Minister’s Specification would be required as part of the Building Code of Australia (BCA).
- (4) Further application pursuant to the Local Government Act shall be made to the Infrastructure Assets and Environment Department for the proposed crossover prior to construction activities occurring.

Road/Kerbing/Footpath Works will need to be inspected by an Assets and Infrastructure Officer to determine they have met all relevant requirements. All work including line marking will be the responsibility of the applicant as will the reinstatement of any damaged Infrastructure / Services related to these works. All works will be carried out at the cost to the applicant.

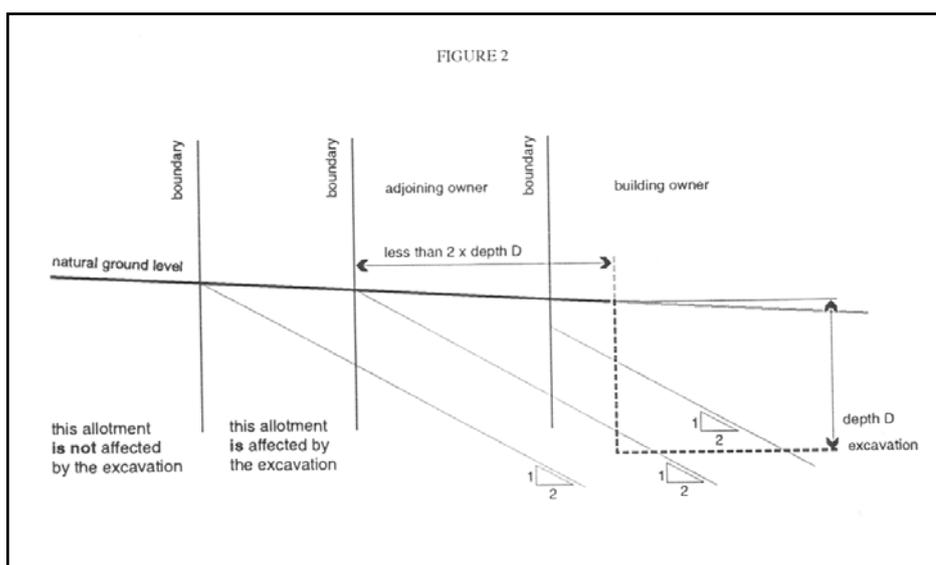
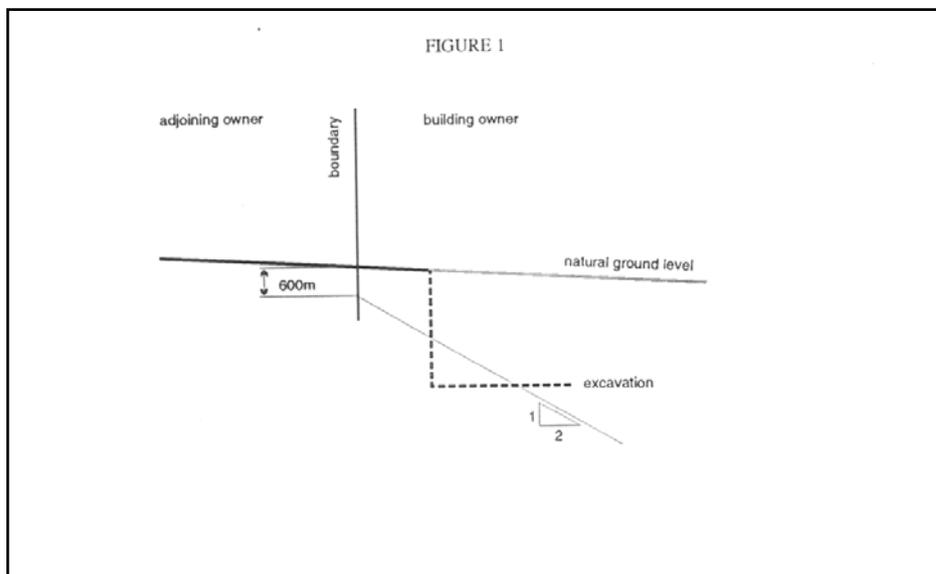
- (5) Prior to the commencement of construction of the development herein approved, it is strongly recommended that you employ the services of a licensed Land Surveyor to carry out an identification survey of the subject land and to peg the true boundaries, to ensure that building work will be either on the true boundaries or the specified distance from the true boundaries of the subject land, as the case may be. Failure to correctly site the development on the land in accordance with the plans approved herein would constitute a breach of the *Development Act 1993*. Any amendments required to the approved plans as a result of the survey are to be submitted to Council for approval prior to works commencing.
- (6) You are encouraged to consult with adjoining property owners before commencing any work, to assist in minimising nuisance or inconvenience caused during construction.
- (7) You are required to give formal notification to, and consult with, the adjoining property owner if you are removing, replacing or altering an existing fence or building a freestanding wall along the common boundary that would, for all purposes, be a dividing fence (Section 5 of the *Fences Act 1975*).
- (8) If you (the building owner) are undertaking building work that affects the stability of other land or premises, namely:
- an excavation which intersects a notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point 600mm below natural ground level at a boundary with an adjoining site (as depicted in figure 1); or
 - an excavation which intersects any notional plane extending downwards at a slope of 1 vertical to 2 horizontal from a point at natural ground level at any boundary between 2 sites (not being a boundary with the site of the excavation), where the boundary is within a distance equal to twice the depth of the excavation (as depicted in figure 2); or
 - any fill which is within 600mm of an adjoining site, other than where the fill is not greater than 200 millimetres in depth (or height) and is for landscaping, gardening or other similar purposes;

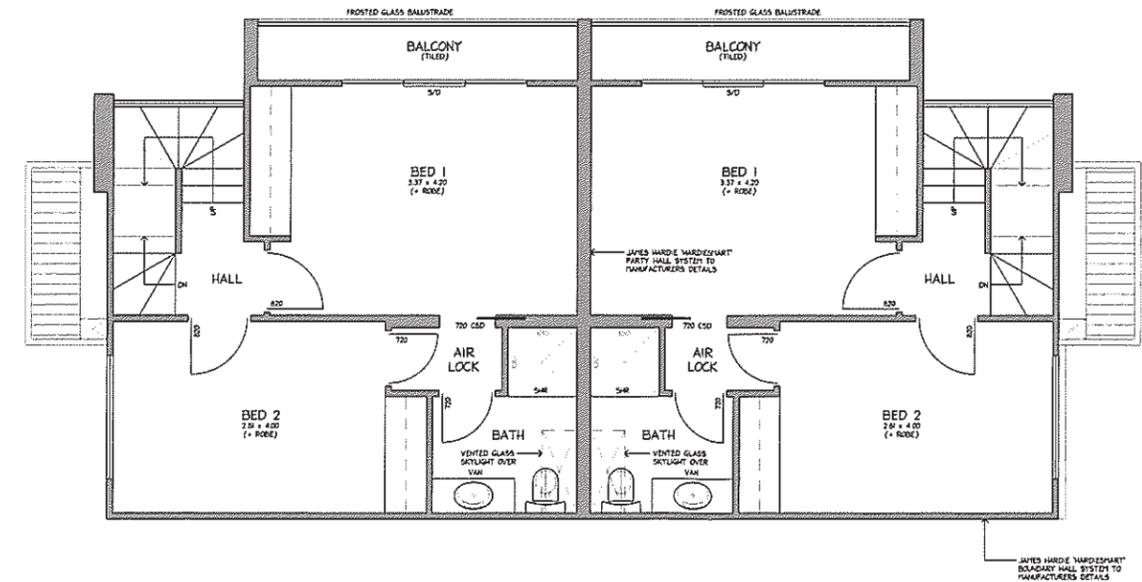
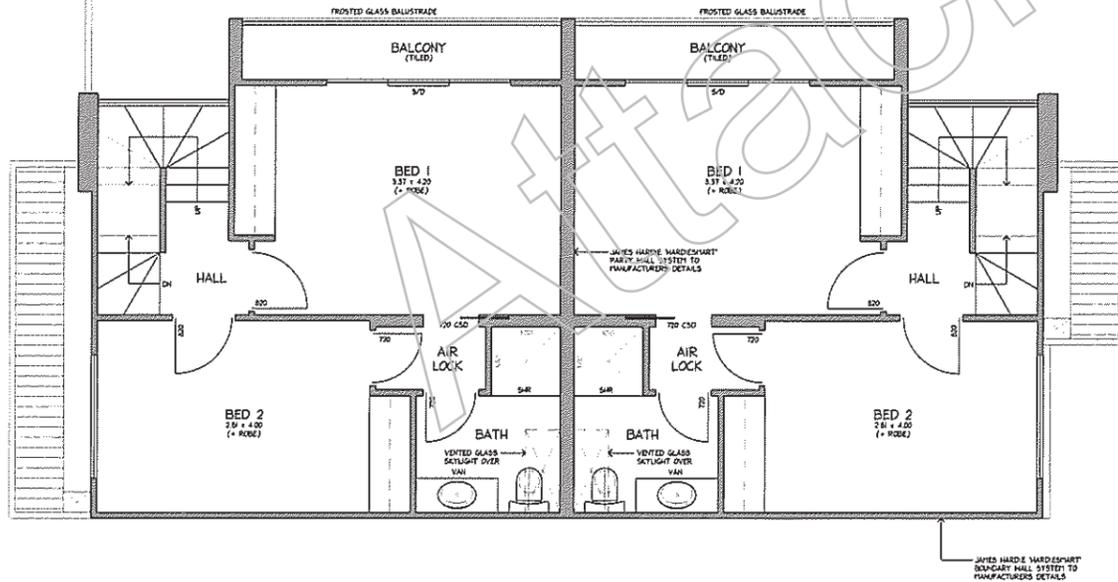
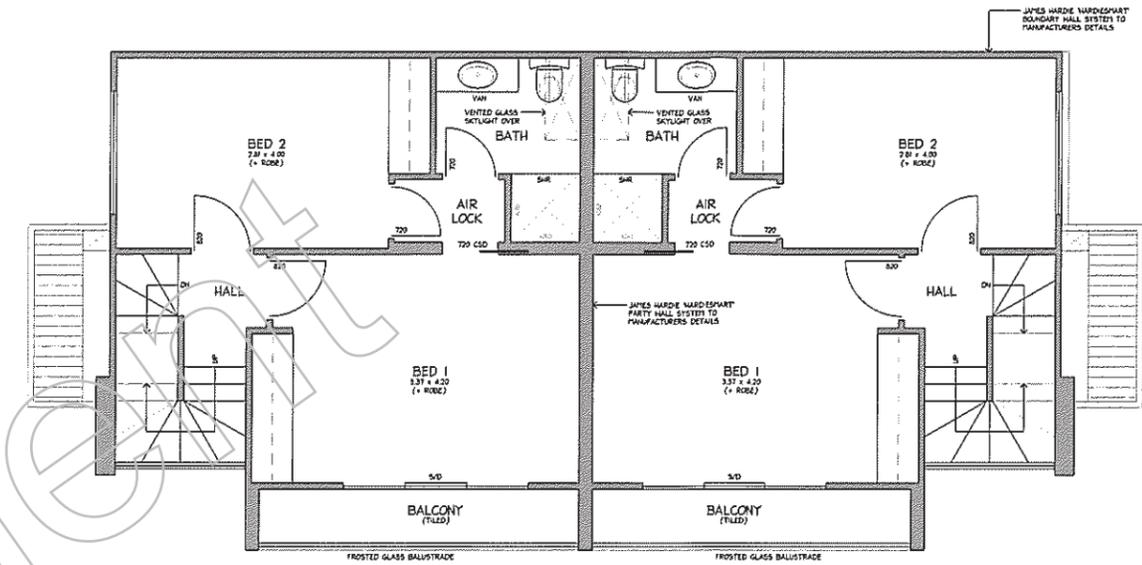
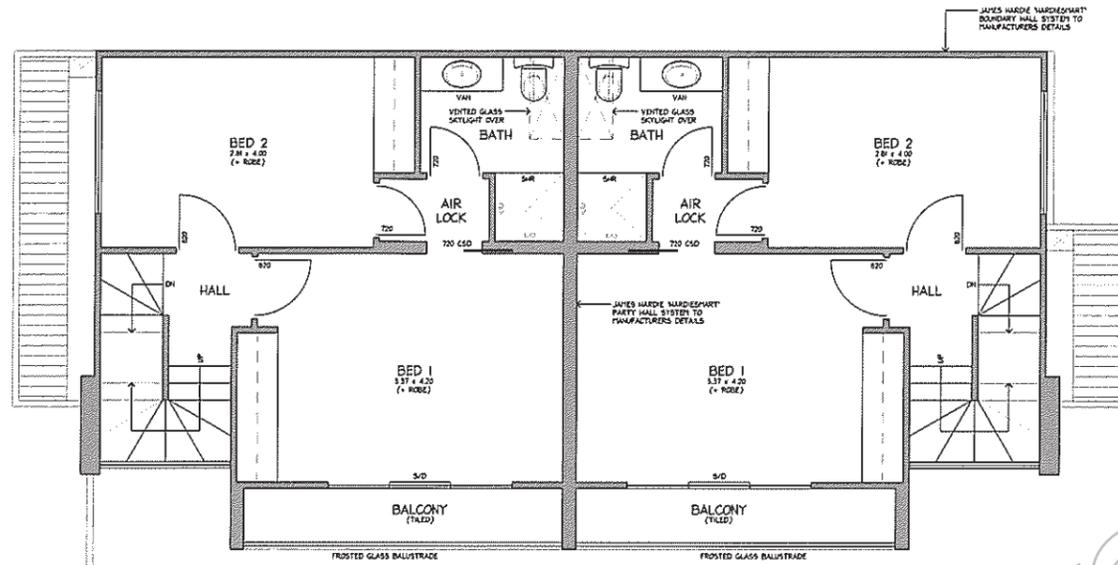
Then you (the building owner) must, at least 28 days before the building work is commenced:

- a) serve on the owner of the affected land or premises a notice of intention to perform the building work and describing the nature of that work; and
- b) you must take such precautions as may be prescribed to protect the affected land or premises and must, at the request of the owner of the affected land or premises, carry out such other building work in relation to that land or premises as that adjoining owner is authorised by the regulations to require.

If you fail to comply with these notification requirements, then you are guilty of an offence with a maximum penalty of \$10 000.

You may apply to the Court for a determination of what proportion (if any) of the expense incurred by you in the performance of the building work requested by the owner of affected land or premises (under subsection (b) above) should be borne by the owner of that land or premises, and you may recover an amount determined by the Court from the owner of the affected land or premises as a debt.





COMBINED TOWNHOUSES
LEVEL 2
1:50



CONTRACT PLAN
OWNER: _____
DATE: _____
DRAWN: Bmc
JOB TYPE: _____
MASTER UPDATE: _____
TYPE: _____

SHEET 3 OF 7
LEVEL 1 FLOOR PLAN
Job No. 16139
DATE 05/08/16 SCALE 1:50
DRAWN: Bmc
JOB TYPE: _____
MASTER UPDATE: _____
TYPE: _____

PROPOSED RESIDENCE FOR
CC STRUCTURED FINANCE PTY. LTD.
ACN: 602 294 959
AT
LOT 11
107 CHURCHILL ROAD
PROSPECT

SPECIAL NOTES

WINDOW LEGEND

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AMENDMENT DATES

- A. VARIOUS AMENDMENTS 20-06-16 8%.
- B. VARIOUS AMENDMENTS 20-06-16 8%.
- C. VARIOUS AMENDMENTS 20-06-16 8%.

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REVISIONS

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REVISIONS

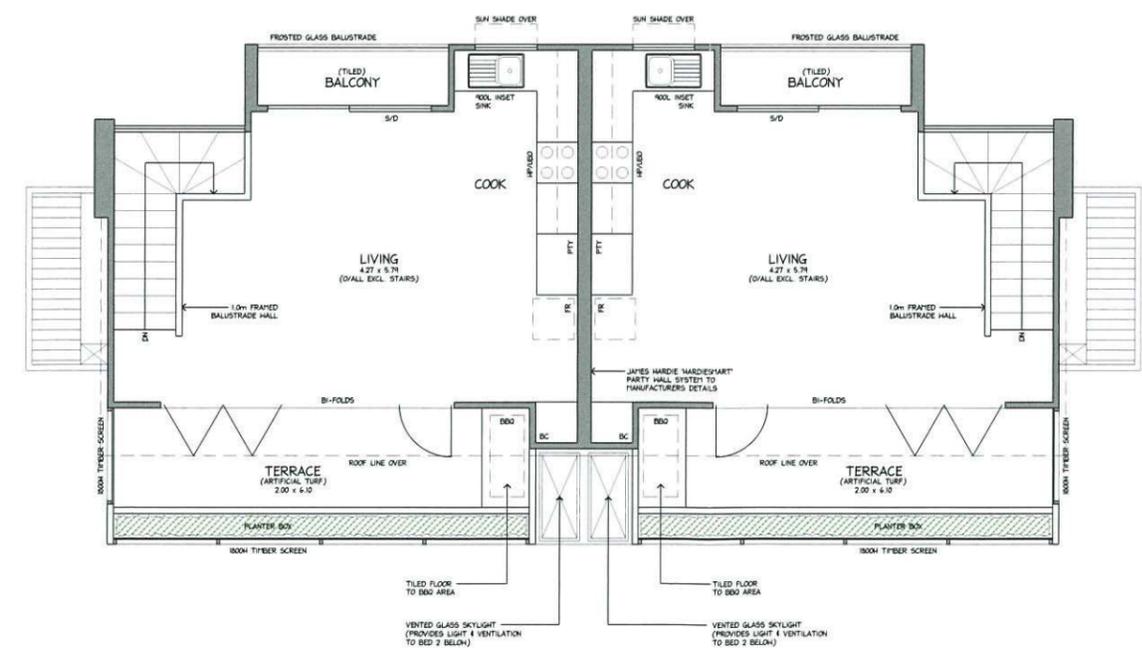
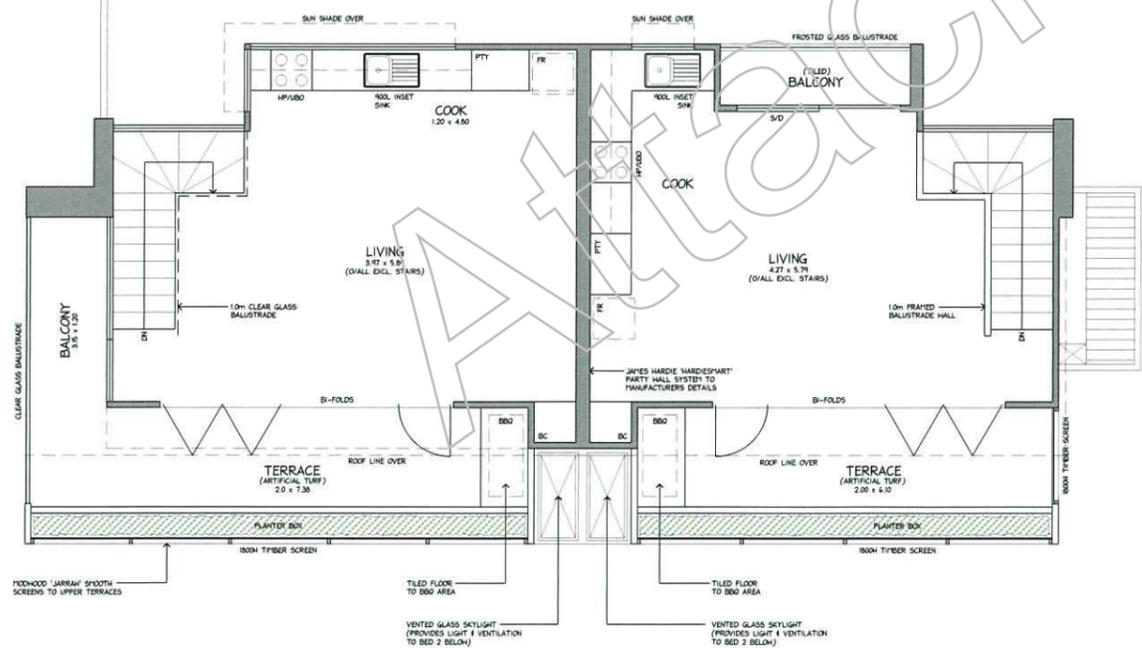
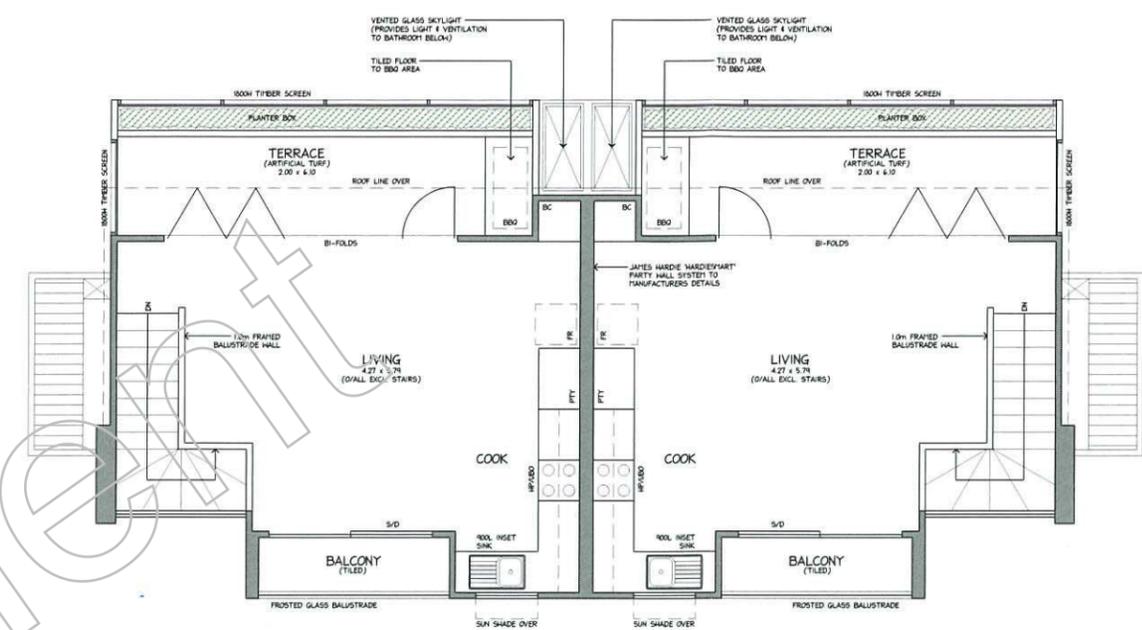
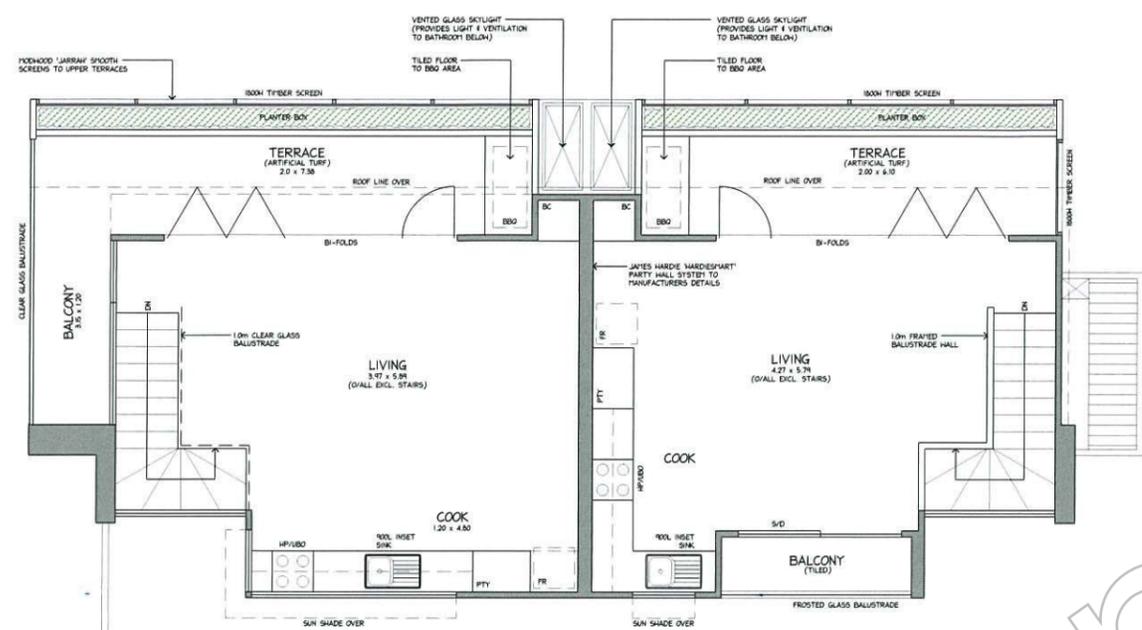
R
Roadside
Homes
Home Builders

Phone: 08 8333 2000
Fax: 08 8333 2001

gsd
Group Services Design
Phone: 08 8333 2000
Fax: 08 8333 2001

NOTE:
ALL TERRACE PLANTERS TO BE FILLED WITH
QUALITY ORGANIC SOIL SUCH AS JEFFERIES
'SPECIAL SOIL' & TOPPED WITH 50mm DEPTH
JEFFERIES 'FOREST FLOOR' DRIPPER IRRIGATION
SYSTEM INSTALLED TO SUIT.

NOTE:
TERRACE PLANTERS TO BE PLANTED WITH PLANT
SPECIES TO OWNERS SELECTION. THEY ARE
INTENDED TO PROVIDE TOWNHOUSE OWNERS WITH
CHOICE TO GROW FOODWEBS/PLUMERS OR
SIMPLY PLANT OUT WITH LOW MAINTENANCE
HEDGING/SCREEN PLANTS AS DESIRED.



COMBINED TOWNHOUSES
LEVEL 3
1:50



CONTRACT PLAN
OWNER:
DATE:
BUILDER:
DATE:
DATE:

SHEET 4 OF 7
LEVEL 1 FLOOR PLAN
Job No. 16139
DATE: 05/08/16 SCALE: 1:50
DRAWN: BMc JOB TYPE:
MASTER UPDATE:
TYPE:

PROPOSED RESIDENCE FOR
CC STRUCTURED FINANCE PTY. LTD.
ACN: 602 294 959
AT
LOT 11
107 CHURCHILL ROAD
PROSPECT

SPECIAL NOTES

NOTE:
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QUALITY ORGANIC SOIL SUCH AS JEFFERIES
'SPECIAL SOIL' & TOPPED WITH 50mm DEPTH
JEFFERIES 'FOREST FLOOR' DRIPPER IRRIGATION
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SIMPLY PLANT OUT WITH LOW MAINTENANCE
HEDGING/SCREEN PLANTS AS DESIRED.

WINDOW LEGEND

AS	ALUM. HORIZONTAL SLIDING
ALB	ALUM. ALBERT
TALB	TIMBER ALBERT
ASH	ALUM. SHOUT HUNG
TSH	TIMBER SHOUT HUNG
ASH	ALUM. DOUBLE HUNG
TSH	TIMBER DOUBLE HUNG
AF	ALUM. FIXED SASH
TF	TIMBER FIXED SASH
BS	BROOKLYN OVER OPENING

AMENDMENT DATES

A	VARIOUS AMENDMENTS 23-08-16 8%*
A	VARIOUS AMENDMENTS 07-10-16 8%*
A	VARIOUS AMENDMENTS 14-10-16 8%*

AREAS m²

●	DENOTES DIRECT WIND BREAK ALARM
⊗	DENOTES FULL AIR BRICK CONTROL POINT REFER TO DRAWING INDEX

STANDARD ROSSDALE HOMES WINDOW SIZES ONLY
BASED ON PLAN NORMAL STANDARD WINDOW SIZES
IF THIS DRAWING IS TO BE REALISED IN
CONJUNCTION WITH BUILDING & SELECTION SCHEDULES
FOUR-DIMENSIONS SHALL TAKE PREFERENCE OVER
TWO-DIMENSIONS
NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES
DUE TO STRUCTURAL IMPROVEMENTS

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BY ROSSDALE HOMES PTY. LTD.

Rossdale Homes
Residential Building
Phone 08 8433 2000
Fax 08 8433 2009

gSd
ARCHITECTURE & DESIGN



EXTERNAL FINISHES LEGEND

-  CSR CEPITEL DESIGNER SERIES CLADDING -HOODHOOD TEAK FINISH
-  HARDTIDY FRC CLADDING -ACRYLIC TEXTURE RENDER FINISH COLOUR: WHITE
-  HARDTIDY FRC CLADDING -ACRYLIC TEXTURE RENDER FINISH COLOUR: COLOURBOND PEAKPAINT
-  HARDTIDY FRC CLADDING -ACRYLIC TEXTURE RENDER FINISH COLOUR: COLOURBOND EVENING HAZE



A. VARIOUS AMENDMENTS	14-10-16	BP
A. VARIOUS AMENDMENTS	07-10-16	BP
A. VARIOUS AMENDMENTS	23-05-16	BP
Rev. Descr:	Date:	By:

AMENDMENT DATES	
SHEET 5 OF 7	
ELEVATIONS	
Job No. 16139	
DATE: 05.08.16	SCALE: 1:100
DRAWN: Bmc	JOB TYPE:
PROPOSED DEVELOPMENT FOR CC STRUCTURED FINANCE PTY. LTD. ACN: 602 294 959 AT LOT 11 107 CHURCHILL ROAD PROSPECT	

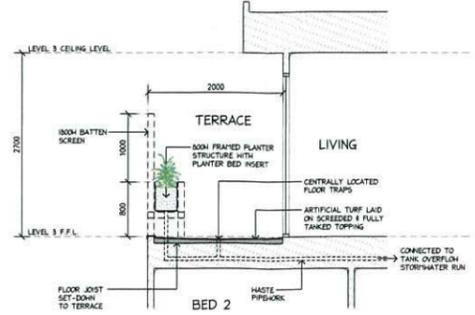
LEGEND	
AS	ALUM. HORIZONTAL SLIDING
ASB	ALUM. HORIZONTAL SLIDING
ASB1	TIMBER ANZING
ASB2	ALUM. SINGLE HANG
ASB3	TIMBER SINGLE HANG
ASB4	ALUM. DOUBLE HANG
ASB5	TIMBER DOUBLE HANG
ASB6	ALUM. FIXED GLASS
ASB7	TIMBER FIXED GLASS
ASB8	BRICKWORK OVER OPENING
ASB9	REMOVES DIRECT WIND SMOKE ALARM
ASB10	REMOVES FULL HT BRICK CONTROL JOINT
ASB11	REFER TO ENGINEER'S REPORT

SPECIAL NOTES

ALL FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER UNFIGURED DIMENSIONS

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STANDARD WINDOW SIZES SHALL BE USED UNLESS OTHERWISE SPECIFIED. STANDARD WINDOW SIZES WILL CHANGE FROM DRAWING TO DRAWING SUBJECT TO CONSULTATION WITH BUILDING & SELECTION SERVICES.



CONTRACT PLAN
OWNER: DATE: BUILDER: DATE:

GSD
GOSWAMY SWAIN DESIGN

14-10-16
07-10-16
23-05-16

BP
BP
BP

Rev. Descr: Date: By:

AMENDMENT DATES

SHEET 5 OF 7
ELEVATIONS

Job No. 16139

DATE: 05.08.16 SCALE: 1:100

DRAWN: Bmc JOB TYPE:

PROPOSED DEVELOPMENT FOR
CC STRUCTURED FINANCE PTY. LTD.
ACN: 602 294 959
AT
LOT 11
107 CHURCHILL ROAD
PROSPECT

LEGEND

AS ALUM. HORIZONTAL SLIDING
ASB ALUM. HORIZONTAL SLIDING
ASB1 TIMBER ANZING
ASB2 ALUM. SINGLE HANG
ASB3 TIMBER SINGLE HANG
ASB4 ALUM. DOUBLE HANG
ASB5 TIMBER DOUBLE HANG
ASB6 ALUM. FIXED GLASS
ASB7 TIMBER FIXED GLASS
ASB8 BRICKWORK OVER OPENING
ASB9 REMOVES DIRECT WIND SMOKE ALARM
ASB10 REMOVES FULL HT BRICK CONTROL JOINT
ASB11 REFER TO ENGINEER'S REPORT

SPECIAL NOTES

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GSD
GOSWAMY SWAIN DESIGN

14-10-16
07-10-16
23-05-16

BP
BP
BP

Rev. Descr: Date: By:



AERIAL VIEW FROM SOUTH-WEST



CHURCHILL ROAD FRONT PERSPECTIVE VIEW



AERIAL VIEW FROM NORTH-EAST



AERIAL UPPER LEVEL PERSPECTIVE VIEW (FRONT TOWNHOUSE)
(NO ROOF SHOWN)



LEVEL 2 BATHROOM VENTED SKYLIGHT CONFIGURATION



PROPOSED ENTRANCE STATEMENT & GATES

CONTRACT PLAN
OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____
OWNER: _____ DATE: _____

A. VARIOUS AMENDMENTS	14-10-16	BPC
A. VARIOUS AMENDMENTS	07-10-16	BPC
A. VARIOUS AMENDMENTS	23-06-16	BPC
Rev. Descr:		Date: By:
AMENDMENT DATES		
SHEET 6 OF 7		
PERSPECTIVE VIEWS		
Job No. 16139		
DATE: 05.08.16	SCALE: NTS	
DRAWN: BMC	JOB TYPE:	
PROPOSED DEVELOPMENT FOR CC STRUCTURED FINANCE PTY. LTD. ACN: 602 294 959 AT LOT 11 107 CHURCHILL ROAD PROSPECT		
LEGEND		
AL	ALUM. HORIZONTAL SLUING	
ALM	ALUM. BRAND	
TRM	TIMBER BRAND	
AS	ALUM. SINGLE HUNG	
TS	TIMBER SINGLE HUNG	
AD	ALUM. DOUBLE HUNG	
TD	TIMBER DOUBLE HUNG	
AF	ALUM. FIXED GLASS	
TF	TIMBER FIXED GLASS	
OP	BROCKWICK OVER OPENING	
●	IDENTIFIES DIRECT WIND SMOKE ALARM	
⊙	IDENTIFIES FULL WT BRICK CONTROL JAMB	
	REFER TO ENGINEER'S REPORT	
SPECIAL NOTES		
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STANDARD WINDOW SIZES ONLY NOTED IN PLAN NORMAL STANDARD WINDOW SIZES MAY CHANGE THE DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES		
 Rosdale Homes Pty. Ltd. 428 OFF FIVE TILL BULLOCK LANE, SPRING HILL, SA 5048 Phone: 08 8433 2000 Fax: 08 8433 2009		
 GSD GOLDER DESIGN 100/101 GARDNER STREET SYDNEY NSW 1585 Phone: 61 2 9550 9999 Fax: 61 2 9550 9998 www.gsd.com.au		



PIRUS CALLERYANA GYANTICLEER
ADVANCED TREE PLANTING TO
CHURCHILL ROAD FRONTAGE



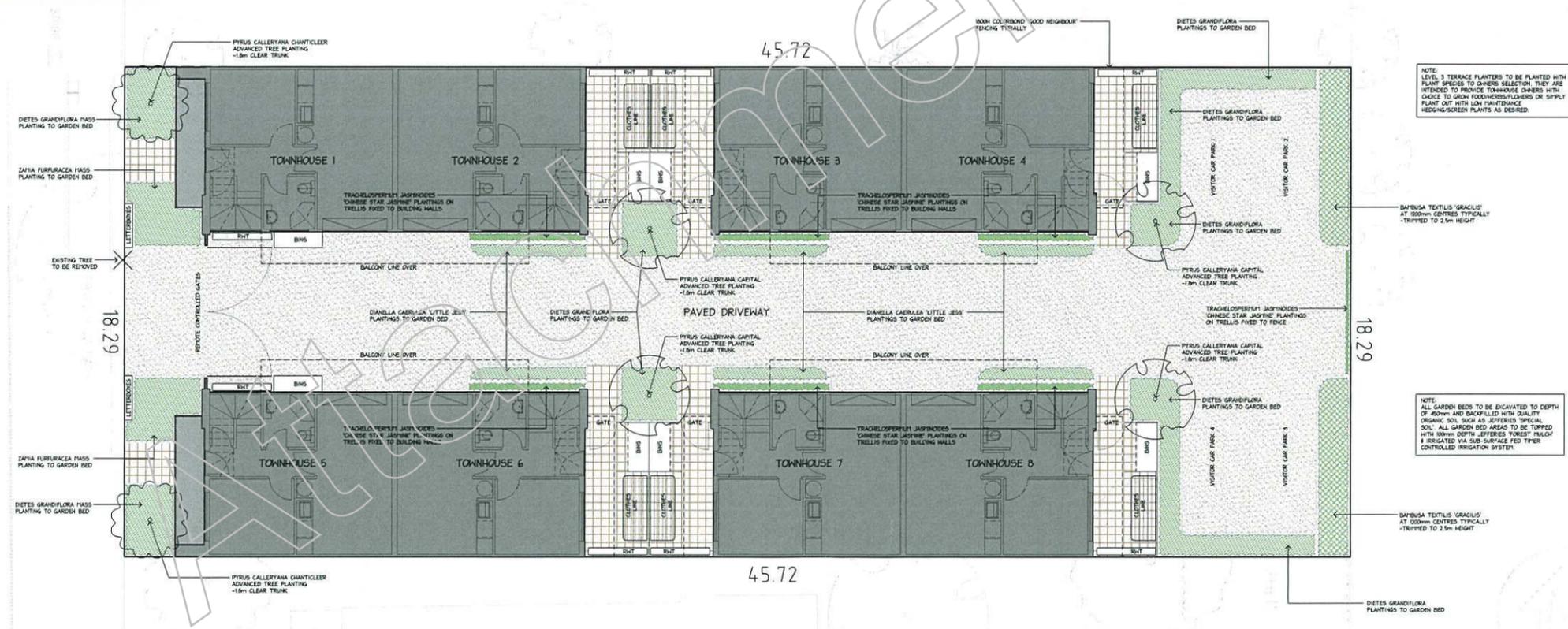
ZANTHA FURURACZA MASS PLANTING
TO FRONT CENTRAL GARDEN BEDS



PIRUS CALLERYANA CAPITAL ADVANCED TREE
PLANTING TO INTERNAL GARDEN BEDS



BAMBUSA TEXTILIS 'GRACIOS' ALONG FENCE
LINES IN REAR CAR PARKING AREA



NOTE:
LEVEL 3 TERRACE PLANTERS TO BE PLANTED WITH
PLANT SPECIES TO OWNERS SELECTION. THEY ARE
INTENDED TO PROVIDE TOWNHOUSE OWNERS WITH
CHANCE TO GROW FOODHERBS/FLOWERS OR SUPPLY
PLANT OUT WITH LOW MAINTENANCE
HEDGING/SCREEN PLANTS AS DESIRED.

NOTE:
ALL GARDEN BEDS TO BE ENRICHED TO DEPTH
OF 400mm AND BACKFILLED WITH QUALITY
ORGANIC SOIL SUCH AS JEFFERIES 'SPECIAL
SOIL'. ALL GARDEN BED AREAS TO BE TOPPED
WITH 50mm DEPTH JEFFERIES FOREST FULGUR
& IRRIGATED VIA SUB-SURFACE FED TREE
CONTROLLED IRRIGATION SYSTEM.

A. VARIOUS AMENDMENTS 14-10-16 B/c
A. VARIOUS AMENDMENTS 07-10-16 B/c
A. VARIOUS AMENDMENTS 23-08-16 B/c
Rev. Descr: Date: By:

AMENDMENT DATES
SHEET 7 OF 7
LANDSCAPE PLAN
Job No. 16139
DATE: 05.08.16 SCALE: 1:100
DRAWN: Bmc JOB TYPE:
PROPOSED DEVELOPMENT FOR
CC STRUCTURED FINANCE PTY. LTD.
ACN: 602 294 959
AT
LOT 11
107 CHURCHILL ROAD
PROSPECT

LEGEND
ALL ALLOW HORIZONTAL SLIDING
ALUM ALUMINUM
TRAM TRAMER HARDING
ASH ALUM DOUBLE HUNG
TSH TRAMER SINGLE HUNG
ACH ALUM DOUBLE HUNG
TCH TRAMER DOUBLE HUNG
AT ALUM FIXED SASH
TF TRAMER FIXED SASH
* BRICKWORK OVER OPENING
● DENOTES DIRECT WIRE SMOKE ALARM
⊕ DENOTES FULL WT BRICK CONTROL JAMB
- REFER TO ENGINEER'S REPORT

SPECIAL NOTES
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ROADSIDE HOMES DESIGN PTY. LTD.
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NORMAL STANDARD WINDOW SIZES MAY CHANGE
THIS DRAWING IS TO BE READ STRICTLY IN
CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

Roadside Homes Pty. Ltd.
ACN 107 576 727
Business Centre No. 08104
305 GATA DRAGON RD
PILLAGRINA, Q.L.D. 4703
Phone: 08 8433 2000
Fax: 08 8433 2000

gSd
GROUNDSYSTEMS DESIGN



DIETES GRANDIFLORA MASS PLANTING
TO SELECTED GARDEN BEDS



DIANELLA CAERULEA 'LITTLE JESS' PLANTING
TO GARDEN BEDS ALONG DRIVEWAY



TRACHELOSPERMUM JASMINODES CHINESE STAR JASMINE
PLANTING ON TRELIS FIXED TO BUILDING HALLS & REAR FENCE

CONTRACT PLAN
OWNER:
DATE:
BUILDER:
DATE:
DATE:



20 October 2016

City of Prospect
28 Prospect Road,
PROSPECT SA 5082



Attention: Scott McLuskey,

Dear Scott,

Re: ERD Court Appeal ERD-16-274
107 Churchill Road, Prospect

MasterPlan SA Pty Ltd has been engaged by the appellant to provide their advice in respect to the proposed development that was refused by Council's Development Assessment Panel on the 12 September 2016.

We note that this is the second time that a development on the subject land has been considered by the Development Assessment Panel and on each occasion the Panel resolved to refuse the application for substantially the same development.

The Panel Resolved to refuse the development of *"two, three storey Residential Flat Buildings comprising 10 dwellings with associated waste storage and Landscaping (DA 050/333/2016)."*

We advise that the applicant has lodged an appeal with the Environment Resources and Development Court against the decision of Council's Development Assessment Panel.

After taking additional professional advice, the applicant has prepared amended plans varying the proposed development and respectfully request that Council give due consideration to the amended plans as a compromise during the Compulsory Conference stage of the ERD Court Appeal.

The amendments to the proposed development the subject of the compromise to be put to Council's DAP include the following:

- reduction in the number of dwellings from ten to eight;

SOUTH AUSTRALIA
33 Carrington Street
Adelaide, 5000
P (08) 8193 5600

masterplan.com.au

NORTHERN TERRITORY
Unit 33, 16 Charlton Court
Woolner, 0820
P (08) 8942 2600

ISO 9001:2008 Certified

QUEENSLAND
104/139 Commercial Road
Teneriffe, 4005
P (07) 3852 2670

plan@masterplan.com.au

ABN 30 007 755 277
50105LET04



- separation of the two residential flats buildings accommodating five, three storey dwellings, into four residential flat buildings accommodating two, three storey dwellings. A separation 4.8 metres between the two residential flat buildings on either side of the internal driveway creates ground level private open space for each of the central dwellings, affords the opportunity of natural light and ventilation to otherwise rooms that required borrowed light and allows for rain water tanks, clothes lines and bin storage areas exclusively provided for each dwelling;
- provision of ground level private open space for the dwellings at the rear of the site accommodating clothes line, rain water tank and bin storage enclosure adjacent the visitor car parking spaces;
- relocation of the entries for the dwellings without frontage to Churchill Road from the side private open spaces with an entry canopy clearly defining the principle point of entrance;
- introduction of additional landscaping areas and opportunities for medium size trees to the central common driveway reducing the extent of hard paved surface areas;
- deletion of the common rainwater tanks and common bin storage area from the rear boundary of the site adjacent the visitor parking areas allowing for the increase in soft landscaping which now proposes the introduction of screening bamboo; and
- amendments to the ground floor and first floor levels ensuring that all habitable rooms have access light and ventilation (without the need for borrowed light) with the incorporation of external windows to all habitable rooms.

Accordingly, and as a result of the proposed changes and reduction in the number of dwellings proposed, we submit that the proposed development sufficiently addresses the expressed reasons for refusal and incorporates significantly improved occupant amenity noting that:

- no habitable room relies upon borrowed light or ventilation;
- additional private open space has been provided at ground level for each of the six rear dwellings;
- each dwelling is now provided with exclusive rain water, external clothes drying and bin storage areas; and
- the rear six dwellings have the primary entrance setback from the internal driveway with clearly defined entrances from the ground level courtyards.



In addition to the above and notwithstanding that the architectural expression has not changed, the architectural expression to Churchill road incorporates a mix of materials and finishes in the palette of finishes to the external walls which together with the articulation of the primary elevation presents a visually appealing presentation to Churchill Road.

The internal composition of built form, vehicle access and landscaping enhances the internal elevations and appeal from the internal common access driveway through:

- the separation of built form centrally located to the site allowing for increased penetration of direct sunlight to the common driveway and improved outlook (northerly and southerly) to sky; and
- increased opportunities for landscaping with includes a mix of medium height columnar trees, climbing plants, screening vegetation and low level drought tolerant plants to reduce the extent of hardscape along the length of the common vehicular access internal to the site.

Please finds attached amended Plans prepared by GoostreySmith Design dated 14 October 2016, drawing numbers:

- | | | | |
|---|---------------|--------------|------------------------|
| • | Job No. 16139 | Sheet 1 of 7 | Site Plan; |
| • | Job No. 16139 | Sheet 2 of 7 | Ground Floor Plan; |
| • | Job No. 16139 | Sheet 3 of 7 | Level 1 Floor Plan; |
| • | Job No. 16139 | Sheet 4 of 7 | Level 2 Floor Plan; |
| • | Job No. 16139 | Sheet 5 of 7 | Elevations; |
| • | Job No. 16139 | Sheet 6 of 7 | Perspective Views; and |
| • | Job No. 16139 | Sheet 7 of 7 | Landscape Plan. |

We welcome the opportunity for the amended plans to be submitted to the next available Council DAP meeting as a compromise to avoid the matter progressing to hearing of the ERD Court.



Can you please advise us of the time and date that the compromise plans will be presented to Council's DAP meeting so that we may be in attendance to answer or respond to any queries that the panel members may have in respect to the proposed amendments.

Yours sincerely

Greg Vincent
MasterPlan SA Pty Ltd

enc: Plans as Listed
cc: Mr Andrew Souter

Attachment

CITY OF PROSPECT
REFUSED
12 SEP 2016
DEVELOPMENT ACT 1993

TOWNHOUSE 1 AREAS:

LEVEL 1 LIVING	23.97
LEVEL 1 GARAGE	19.62
LEVEL 1 PORCH	5.76
LEVEL 2 LIVING	44.47
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	35.46
LEVEL 3 TERRACE	18.80
TOTAL	152.57

TOWNHOUSE 2 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 3 AREAS:

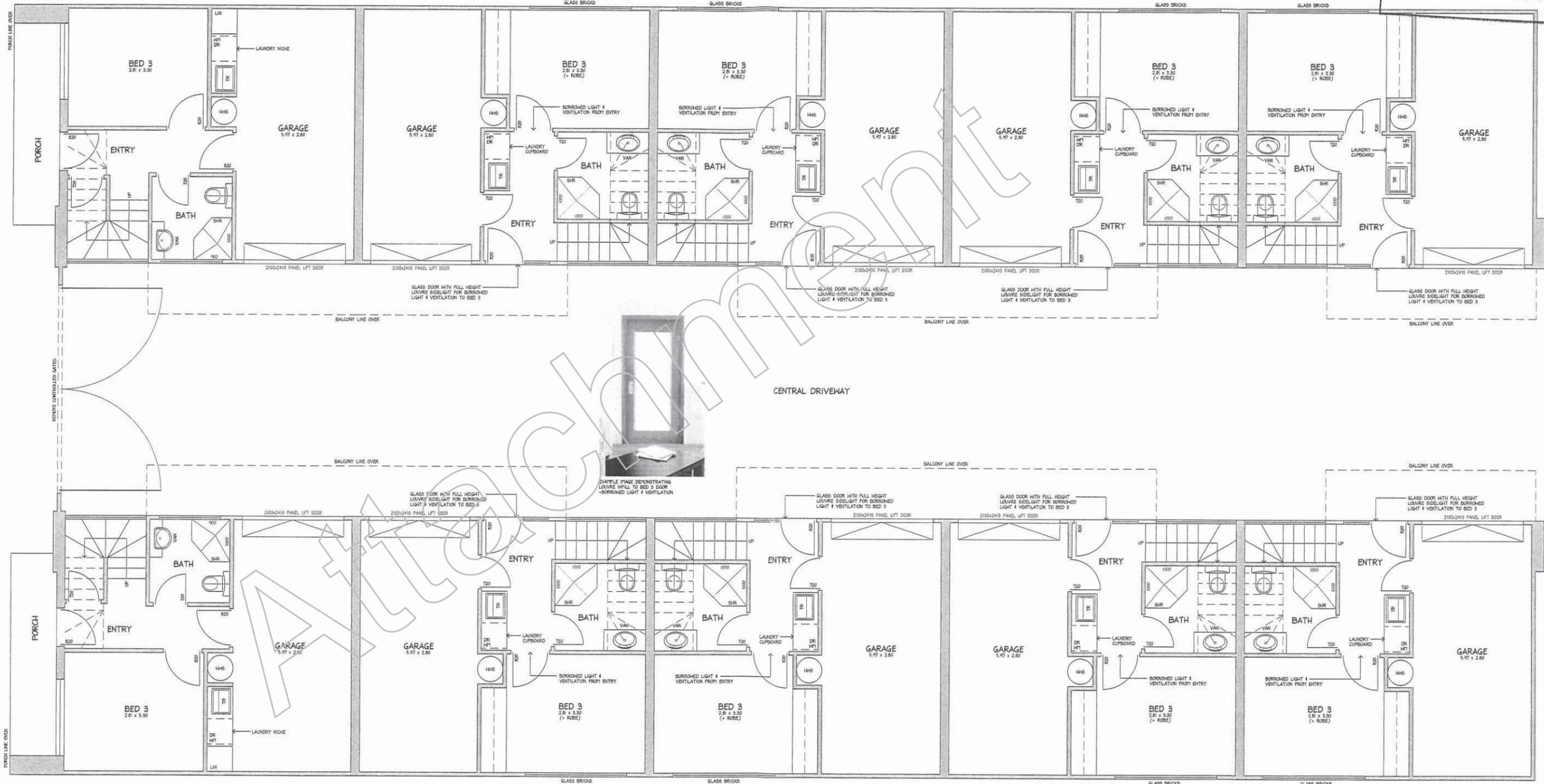
LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 4 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 5 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.47
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	35.46
LEVEL 3 TERRACE	12.52
TOTAL	154.76



TOWNHOUSE 6 AREAS:

LEVEL 1 LIVING	23.97
LEVEL 1 GARAGE	19.62
LEVEL 1 PORCH	5.76
LEVEL 2 LIVING	44.47
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	35.46
LEVEL 3 TERRACE	18.80
TOTAL	152.57

TOWNHOUSE 7 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 8 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 9 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.55
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	32.85
LEVEL 3 TERRACE	12.52
LEVEL 3 BALCONY	2.64
TOTAL	140.13

TOWNHOUSE 10 AREAS:

LEVEL 1 LIVING	24.74
LEVEL 1 GARAGE	18.31
LEVEL 2 LIVING	44.47
LEVEL 2 BALC	4.49
LEVEL 3 LIVING	35.46
LEVEL 3 TERRACE	12.52
TOTAL	154.76

COMBINED TOWNHOUSES
LEVEL 1
1:50



SHEET 2 OF 7
PROPOSED RESIDENCE FOR
LEVEL 1 FLOOR PLAN
CC STRUCTURED FINANCE PTY. LTD.
Job No. 16139
DATE: 05/08/16 SCALE: 1:50
DRAWN: BMc JOB TYPE:
MASTER UPDATE:
TYPE:

SPECIAL NOTES

WINDOW LEGEND
AS ALUM. HORIZONTAL SLIDING
AA ALUM. ANNING
TA ALUM. ANNING
ASH ALUM. SINGLE HUNG
TH ALUM. SINGLE HUNG
ASH ALUM. DOUBLE HUNG
TH ALUM. DOUBLE HUNG
AF ALUM. FIXED SASH
TF ALUM. FIXED SASH
BR BRICKWORK OVER OPENING

AMENDMENT DATES
A. VARIOUS AMENDMENTS 25-06-16 BPC

AREAS m²

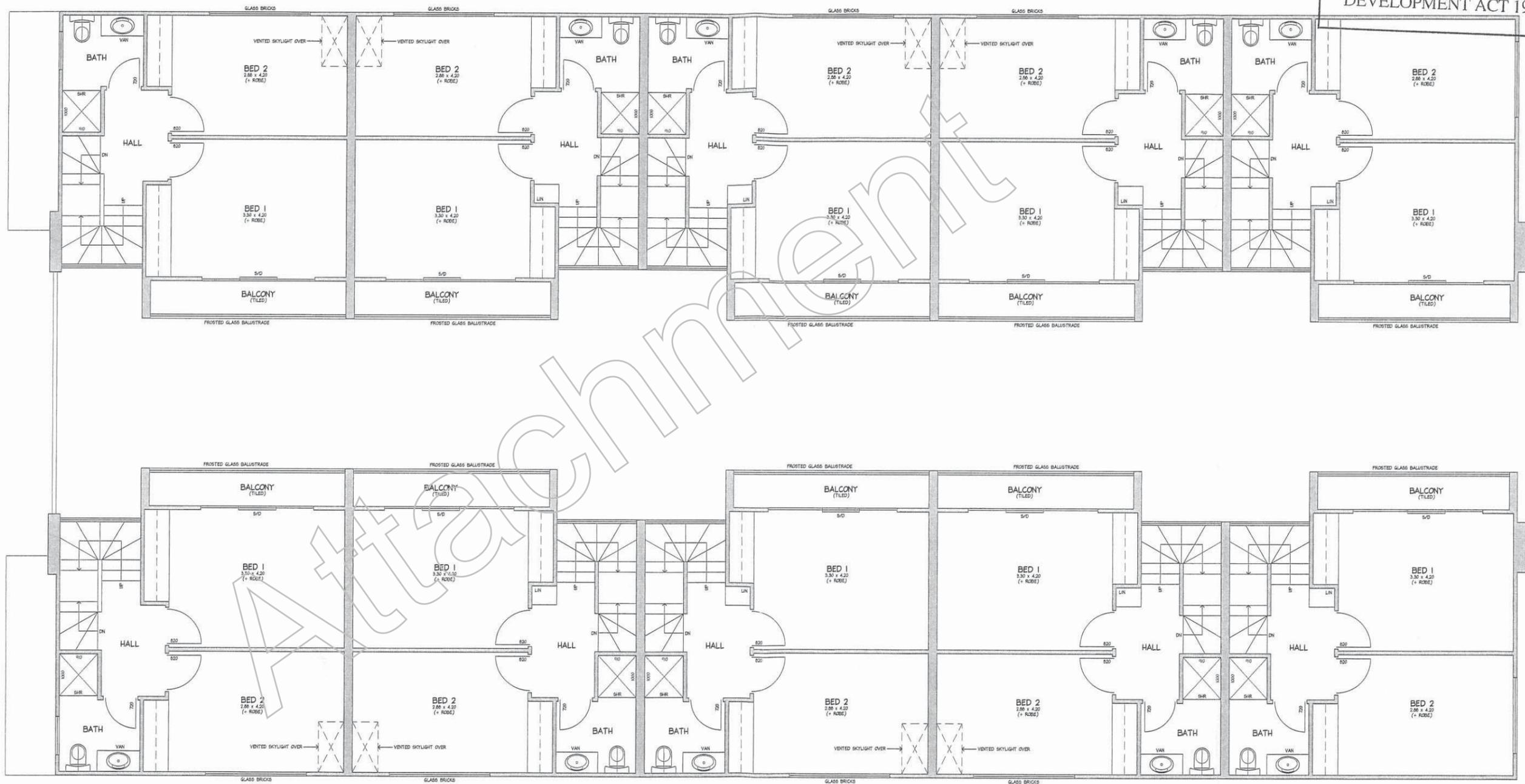
STANDARD RESIDUAL HOMES WINDOW SIZES ONLY
AS PER PLAN NOMINAL STANDARD WINDOW SIZES
MAY VARY
THIS DRAWING IS TO BE READ STRICTLY IN
CONJUNCTION WITH BUILDING & SELECTION SCHEDULES
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Residual Homes Pty Ltd
ACN 007 338 717
Business Centre One, 20/24
300 GLEN SPRING RD,
PILLAGRIM, SA 5007
Phone: 08 8432 2000
Fax: 08 8432 2008

gSd
GROUP DESIGN & CONSTRUCTION DESIGN

CONTRACT PLAN
OWNER:

CITY OF PROSPECT
REFUSED
12 SEP 2016
DEVELOPMENT ACT 1993



COMBINED TOWNHOUSES
LEVEL 2
1:50



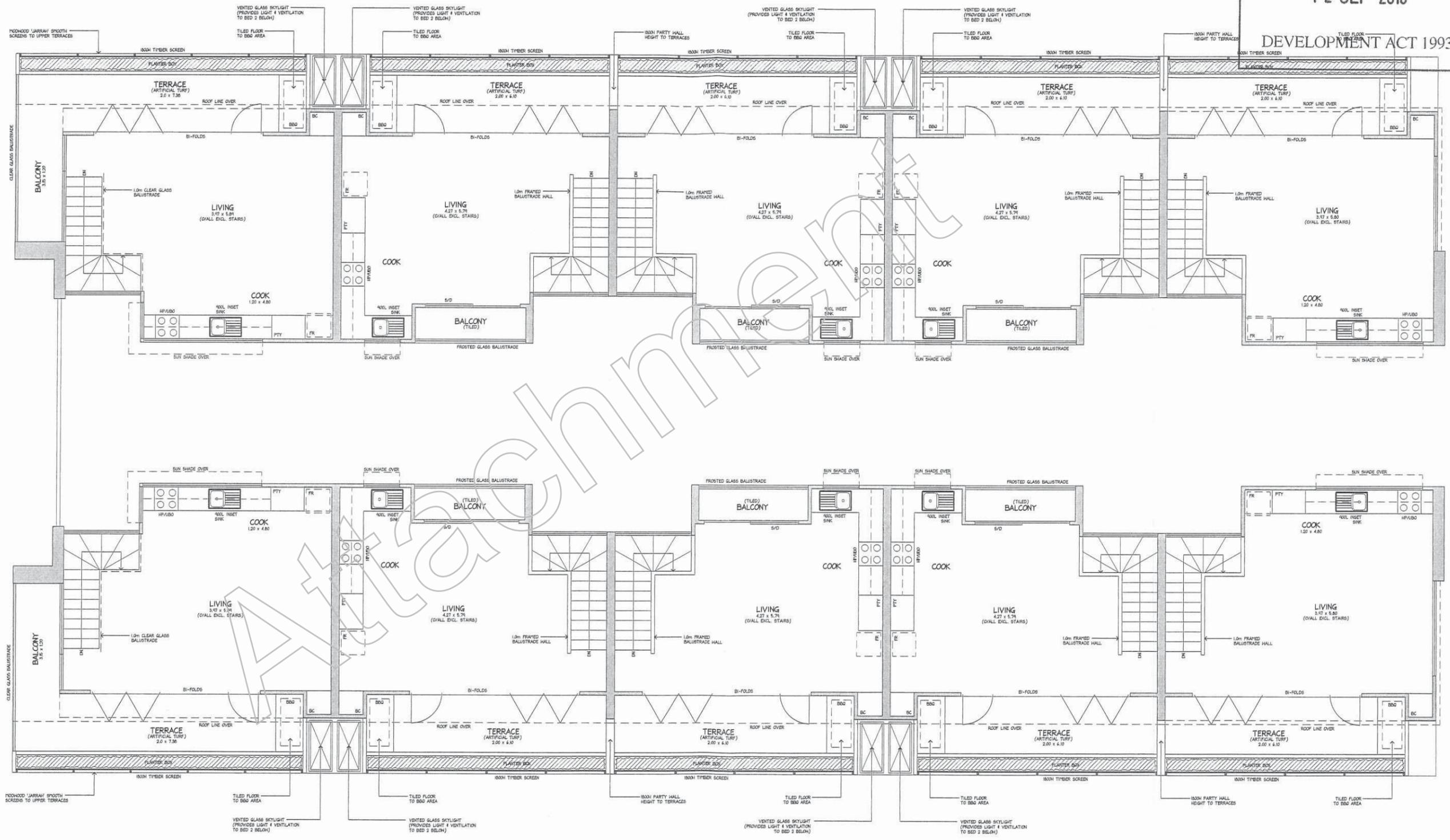
CONTRACT PLAN
OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____

<p>SHEET 3 OF 7 LEVEL 1 FLOOR PLAN Job No. 16139 DATE: 05/08/16 SCALE: 1:50 DRAWN: BMa JOB TYPE: MASTER UPDATE: TYPE:</p>	<p>PROPOSED RESIDENCE FOR CC STRUCTURED FINANCE PTY. LTD. ACN: 602 294 959 AT LOT 11 107 CHURCHILL ROAD PROSPECT</p>	<p>SPECIAL NOTES</p>	<p>WINDOW LEGEND AS ALUM. HORIZONTAL SLIDING AAMN ALUM. ANNING TAMN TAMN ASH ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TSH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH * BRICKWORK OVER OPENING</p>	<p>AMENDMENT DATES A. VARIOUS AMENDMENTS 20-08-16 BPC</p>	<p>● DENOTES DIRECT WIRED SMOKE ALARM ⊙ DENOTES FULL HT SMOKE CONTROL, JUNK - REFER TO ENGINEERS REPORT</p> <p>AREAS m²</p>	<p>STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NON-TYPICAL WINDOW SIZES MAY CHANGE. THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</p> <p>FIXED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</p> <p>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LEGAL ACTION WILL BE TAKEN AGAINST ANY IMPROPER USE OR REPRODUCTION OF PARTS, UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY. LTD.</p> <p>Rossdale Homes Pty Ltd ACN 007 836 757 BATTERY ROAD, SUITE 101 200 GLEN COCHRAN RD. GLEN COCHRAN, SA 5063 PHONE: 08 8432 2000 FAX: 08 8432 2069</p> <p>gSD ARCHITECTURE & DESIGN</p>
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CITY OF PROSPECT
 REFUSED
 12 SEP 2016
 DEVELOPMENT ACT 1993

NOTE:
 ALL TERRACE PLANTERS TO BE FILLED WITH
 QUALITY ORGANIC SOIL, SUCH AS JEFFERIES
 SPECIAL SOIL & TOPPED WITH 50MM DEPTH
 JEFFERIES FOREST MULCH. DRIPPER IRRIGATION
 SYSTEM INSTALLED TO SUIT.

NOTE:
 TERRACE PLANTERS TO BE PLANTED WITH PLANT
 SPECIES TO OWNERS SELECTION. THEY ARE
 INTENDED TO PROVIDE TOWNHOUSE OWNERS WITH
 CHOICE TO GROW FOODWEBS/PLANTERS OR
 SIMPLY PLANT OUT WITH LOW MAINTENANCE
 HEDGING-SCREEN PLANTS AS DESIRED.



COMBINED TOWNHOUSES
 LEVEL 3
 1:50



<p>SHEET 4 OF 7 LEVEL 1 FLOOR PLAN Job No. 16139 DATE: 05/08/16 SCALE: 1:50 DRAWN: Bmc JOB TYPE: MASTER UPDATE TYPE:</p>	<p>PROPOSED RESIDENCE FOR CC STRUCTURED FINANCE PTY. LTD. ACN: 602 294 959 AT LOT 11 107 CHURCHILL ROAD PROSPECT</p>	<p>SPECIAL NOTES</p>	<p>WINDOW LEGEND</p> <ul style="list-style-type: none"> AS ALUM. HORIZONTAL SLUING AA1N ALUM. AWNING TARN TIMBER AWNING ASR ALUM. SINGLE HUNG TSH TIMBER SINGLE HUNG ADH ALUM. DOUBLE HUNG TCH TIMBER DOUBLE HUNG AF ALUM. FIXED SASH TF TIMBER FIXED SASH MO BROCKWORK OVER OPENING 	<p>AMENDMENT DATES A. VARIOUS AMENDMENTS 23-08-16 BPC</p>	<p>● QUOTES DIRECT WIND SHAKE ALARM ⊕ QUOTES FULL SET BRICK CONTROL JOINT - REFER TO ENGINEERS REPORT</p>	<p>AREAS m²</p> <p>STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NON-STANDARD WINDOW SIZES MAY VARY. - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES</p> <p>FIXED DIMENSIONS SHALL TAKE PREFERENCE OVER SCHEDULE DIMENSIONS. NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.</p> <p>©COPYRIGHT THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART UNLESS WRITTEN AUTHORITY IS GIVEN BY ROSSDALE HOMES PTY LTD.</p> <p>Rossdale Homes Pty. Ltd. 424 007 938 737 Suite 100/101 40-41 300 GLEN OSWALD RD. GLENWATSON VIC 3089 Phone: 03 9433 2200 Fax: 03 9433 2288</p> <p>gSd DESIGN</p>
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CONTRACT PLAN
 OWNER:
 DATE:
 BUILDER:
 DATE:
 OWNER:



AERIAL VIEW FROM SOUTH-WEST



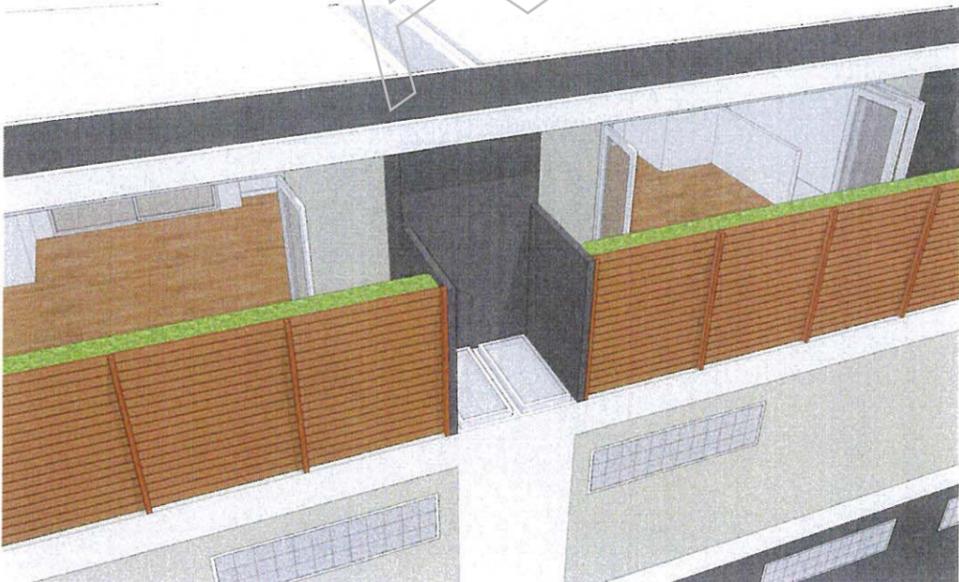
CHURCHILL ROAD FRONT PERSPECTIVE VIEW



AERIAL VIEW FROM NORTH-EAST



AERIAL UPPER LEVEL PERSPECTIVE VIEW (FRONT TOWNHOUSE)
(NO ROOF SHOWN)



BEDROOM 2 VENTED SKYLIGHT CONFIGURATION



PROPOSED ENTRANCE STATEMENT & GATES

**CITY OF PROSPECT
REFUSED
12 SEP 2016
DEVELOPMENT ACT 1993**

CONTRACT PLAN
 OWNER: _____ DATE: _____
 BUILDER: _____ DATE: _____
 DATE: _____

A. VARIOUS AMENDMENTS 23-06-16 Brc
 Rev. Descr: Date: By:

AMENDMENT DATES
SHEET 6 OF 7
PERSPECTIVE VIEWS
 Job No. 16139
 DATE: 05.08.16 SCALE: NTS
 DRAWN: Bmc JOB TYPE:

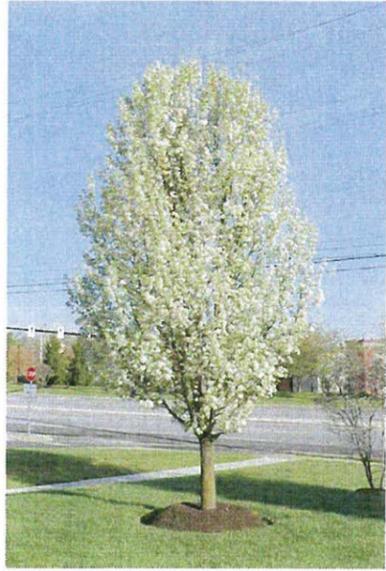
PROPOSED DEVELOPMENT FOR
 CC STRUCTURED FINANCE PTY. LTD.
 ACN: 602 294 959
 AT
 LOT 11
 107 CHURCHILL ROAD
 PROSPECT

LEGEND
 AS ALUM. HORIZONTAL SLIDING
 AARN ALUM. ANKING
 TARR TIMBER ANKING
 ASH ALUM. SINGLE HUNG
 TSH TIMBER SINGLE HUNG
 ADH ALUM. DOUBLE HUNG
 TSH TIMBER DOUBLE HUNG
 AF ALUM. FIXED SASH
 TF TIMBER FIXED SASH
 TF BRICKWORK OVER OPENING
 * DENOTES DIRECT WIRED SHAKE ALARM
 ☺ DENOTES FULL HT BRICK CONTROL JOINT.
 -REFER TO ENGINEERS REPORT

SPECIAL NOTES
 ALL FINISHED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.
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 - STANDARD WINDOW SIZES ONLY NOTED ON PLAN.
 - MINIMAL STANDARD WINDOW SIZES MAY CHANGE.
 - SEE DRAWING G TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES


 Roostable Homes
 Residential Builders
 100-110 Sturt Street
 Adelaide, SA 5000
 Phone: 08 8433 2800
 Fax: 08 8433 2899

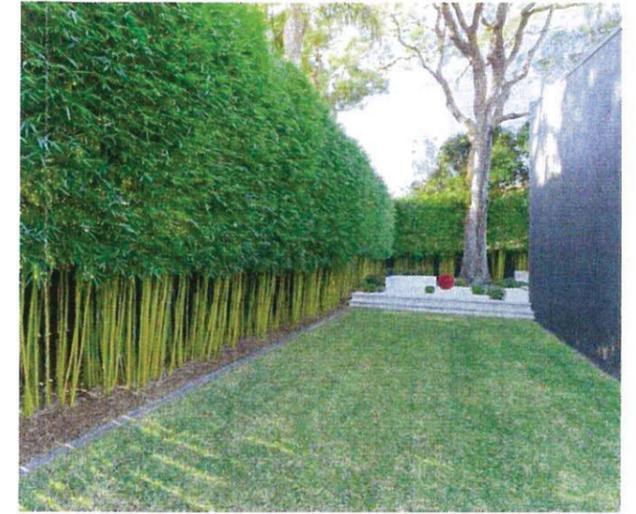

 gsd
 ARCHITECTURAL DESIGN



PIRUS CALLERYANA QUINTICLER
ADVANCED TREE PLANTING TO
CHURCHILL ROAD FRONTAGE



ZAZIA FURFURACEA PASS PLANTING
TO FRONT CENTRAL GARDEN BEDS



BUXUS TEXTILIS 'GRACILIS' ALONG FENCE
LINES IN REAR CAR PARKING AREA



NOTE:
LEVEL 3 TERRACE PLANTERS TO BE PLANTED WITH
PLANT SPECIES TO OWNERS SELECTION. THEY ARE
INTENDED TO PROVIDE TOWNHOUSE OWNERS WITH
CHOICE TO SHADE FOODHOLDS/PLANTERS OR TO
PLANT OUT WITH LOW MAINTENANCE
HEDGING/SCREEN PLANTS AS DESIRED.

NOTE:
ALL GARDEN BEDS TO BE DECAULATED TO DEPTH
OF 600mm AND BACKFILLED WITH QUALITY
ORGANIC SOIL SUCH AS JEFFERSON 'SPECIAL'
SOIL. ALL GARDEN BED AREAS TO BE TOPPED
WITH 100mm DEPTH JEFFERSON 'FOREST PULP'
& IRRIGATED VIA SUB-SURFACE FED TYPICAL
CONTROLLED IRRIGATION SYSTEM.

**CITY OF PROSPECT
REFUSED
12 SEP 2016
DEVELOPMENT ACT 1993**

A. VARIOUS AMENDMENTS 23-06-16
Rev. Descr: Date: By:

AMENDMENT DATES

**SHEET 7 OF 7
LANDSCAPE PLAN**

Job No. 16139
DATE: 05.08.16 SCALE: 1:100
DRAWN: BMC JOB TYPE:
PROPOSED DEVELOPMENT FOR
CC STRUCTURED FINANCE PTY. LTD.
ACN: 602 294 959
AT
LOT 11
107 CHURCHILL ROAD
PROSPECT

LEGEND

- AS ALUM. HORIZONTAL SLIDING
- AKRN ALUM. KNOCKING
- TARK TIMBER ANKING
- ASH ALUM. SINGLE HUNG
- TSH TIMBER SINGLE HUNG
- ADH ALUM. DOUBLE HUNG
- TDH TIMBER DOUBLE HUNG
- AF ALUM. FIXED SASH
- TDF TIMBER FIXED SASH
- BRCK BRICKWORK OVER OPENING
- DENOTES DIRECT WIRED SMOKE ALARM
- ⊕ DENOTES FULL HT BRICK CONTROL JOINT -REFER TO ENGINEERS REPORT

SPECIAL NOTES

ALL FRONT SHEDDINGS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.

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- STANDARD WINDOW SIZES ONLY NOTED IN PLAN.
NORMAL STANDARD WINDOW SIZES MAY VARY.
- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

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Goodie Homes Pty Ltd
ACN 507 138 757
Bullara, New South Wales
100 SLOAN STREET
FOLLISTON, SA 5103
Phone: 08 8433 2000
Fax: 08 8433 2000

gsd
LANDSCAPE DESIGN



DIETES GRANDIFLORA PASS PLANTING TO
FRONT GARDEN BEDS ADJACENT FENCELINES



TRACHELOSPERMUM JASMINOIDES CHINESE STAR JASMINE
PLANTINGS ON TRELLIS FIXED TO BUILDING WALLS
-ALONG CENTRAL DRIVEWAY

CONTRACT PLAN
OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____
OWNER: _____ DATE: _____