

AGENDA ITEM: 6.1

To: Development Assessment Panel (DAP) on 14 August 2017

From: Susan Giles, Development Officer, Planning

Proposal: Four Storey Residential Flat Building Comprising 11 Dwellings (DA 050/335/2016)

Address: 419 Regency Road, Prospect (CT 5910/731)

SUMMARY:

Applicant: iThink Design Studio

Owner: Niatron 10 Pty Ltd

Planning Authority: Council

Mandatory Referrals: Department of Planning, Transport and Infrastructure

Independent Advice: Design Review by Jenny Newman

Public Notification: Category 2

Representations: Two

Representors to be heard: Van To

Respondent: Ben Green & Associates

Development Plan Version: Consolidated 21 April 2016

Zone and Policy Area: Urban Corridor Zone (Transit Living Policy Area)

Key Considerations: Landscaping, Setbacks, Privacy, Car Parking

Recommendation: **Approval, Subject to conditions**

ATTACHMENTS:

Attachments 1-6 Correspondence from Ben Green and Associates

Attachments 7-19 Revised Plans

Attachments 20-24 Revised Overshadowing Diagrams

1. EXECUTIVE SUMMARY

- 1.1 The Development Assessment Panel (DAP) previously considered a proposal for a four storey residential flat building comprising 11 dwellings. The proposal remains unchanged. However, the applicant has provided amended plans with the amendments made in response to the reasons that the application was deferred.
- 1.2 The amended plans illustrate an increase of landscaping adjacent Airlie Avenue and the southern boundary, a reduction in the height of the roofline for the third level, and an increase in the privacy treatments along the southern elevation. A supporting statement has been provided reinforcing the applicant's view that visitor car parking can be accommodated sufficiently adjacent the subject land.
- 1.3 The amendments made do not warrant further mandatory referrals or independent advice, nor was public notification required. The amendments and additional information is considered to reasonably address the reasons for deferral and the proposal warrants development plan consent.

2. BACKGROUND

- 2.1 The DAP previously considered the proposal at its meeting of 5 June 2017. At that meeting the DAP resolved to defer the application to allow the applicant to consider the:
 - The quality of landscaping along Airlie Avenue and along the southern boundary
 - Improve the amenity, (bulk and scale) of the building along the southern elevation, particularly on the third level
 - Shortfall in visitor car parking spaces available on site
 - Privacy treatments to the southern elevation
- 2.2 The report from the previous DAP meeting is available for viewing on the City of Prospect website (www.prospect.sa.gov.au).

3. DISCUSSION

3.1 Landscaping

- 3.1.1 The landscaping plan has been revised to include additional plantings proposed adjacent the Airlie Avenue frontage. The landscaping along Regency Road would extend further around the corner, a planter box is proposed at the pedestrian entrance adjacent ramp and lift well, and a strip of landscaping is proposed along the southern boundary within the common driveway.
- 3.1.2 Additional landscaping is proposed along the southern boundary to improve the amenity and privacy for the occupants of the adjoining dwelling to the south. Additional landscaping is proposed on the first floor level, along the southern and western boundaries. The proposed plantings would have a mature height of 1.8-2m, and would provide dense foliage.
- 3.1.3 The proposed changes are considered to enhance the built form, particularly when viewed from Airlie Avenue.

3.2 Bulk and Scale

- 3.2.1 The proposed southern facade of the upper level has been redesigned with the roofline being split and lowered. While the building remains as four storeys, the revised reduction in the height would reduce the overall bulk of the building when viewed from the southern boundary and Airlie Avenue.

3.2.2 The applicant has provided updated shadow diagrams which illustrate the location of the solar panels on the adjoining dwellings roof. The diagrams demonstrate that minimal impact is anticipated, with reasonable sunlight being achieved to the adjoining property, in accordance with the Council's Development.

3.3 Car parking

3.3.1 The proposed car parking arrangement remains unchanged, with the applicant advising that as outlined within Mr Frank Siow's report, and as based on his extensive investigations, the proposal would provide adequate parking for the development.

3.3.2 While the applicant acknowledges there is a shortfall of spaces for visitor parking on site, they note that Mr Siow identified four on-street car parking spaces would be available directly in front of the subject land. Furthermore, as it is not unreasonable for visitor parking to occur using the adjacent streets, the applicant outlines that the shortfall of 2.75 spaces can be adequately accommodated directly adjacent the subject land. Based on this position, the car parking provision is supported.

3.4 Privacy Treatments

3.4.1 The proposal plans have been revised to incorporate fixed and obscured glass to each south facing balcony. The screens would be 1.7m above the finished floor level. The privacy screens proposed adjacent the southern boundary on the first floor have been also been increased to a height of 1.7m above the finished floor level.

3.4.2 The amendments are not considered to be unreasonably detrimental to future occupant amenity, and the privacy impacts to adjoining allotments would be appropriately minimised.

4. CONCLUSION AND RECOMMENDATION

4.1 Summarised briefly, the applicant has:

1. Increased the extent of landscaping along Airlie Avenue and the southern boundary;
2. Redesigned the third level to reduce the overall height and bulk of the building along the southern elevation;
3. Outlines that the shortfall in visitor car parking spaces can be accommodated directly adjacent the site; and
4. Revised the privacy treatments to the southern elevation.

4.2 The application (as amended) is considered to be sufficiently consistent with the relevant provisions of the Prospect (City) Development Plan and it is thus recommended:

It is recommended:

That with reference to the relevant provisions of the Prospect (City) Development Plan, the zoning of the land within which the proposed development is situated and the locality within which the land is situated, the Panel resolves that development application 050/355/2016 is not seriously at variance with the Development Plan and as such a decision shall be made on the merits of the application; and

That pursuant to the *Development Act 1993*, as amended, Development Plan Consent be approved to DA 050/355/2016 from iThink Design Studio for Four Storey Residential Flat

Building Comprising 11 Dwellings at 419 Regency Road, Prospect (CT 5910/731), subject to the following Reserve Matters, Conditions and notes:

Reserved Matters:

1. A detailed stormwater management plan shall be provided that, to the satisfaction of Council, provides evidence that all dwellings are suitably protected from 1 in 100 year ARI storm events and that post-development outflow rates from the site will match pre-development rates in 1 in 20 ARI storm events. The location and capacity of any on-site detention tanks shall be clearly described.

Conditions:

1. The development shall take place in accordance with the amended plans prepared by Ithink Design Studio, dated 26/06/17, as stamped by Council relating to Development Application Number 050/355/2016, except as modified by any conditions detailed herein. All works detailed in the approved plans and required by conditions are to be completed prior to the occupation of the approved development.
2. All driveways, parking and manoeuvring areas must be formed, surfaced with concrete, bitumen or paving and maintained to the reasonable satisfaction of Council. Driveways, car parking spaces, manoeuvring areas and landscaping areas shall not be used for the storage or display of materials or goods including waste products and refuse. The obsolete crossover and/or any portion of crossover that is not required for the subject development shall be reinstated to Council standard kerb and gutter at the applicant's cost prior to occupation of the completed development.
3. The west and south facing upper level windows shall have:
 - a) Minimum window sill heights of 1.7m above finished floor level; or
 - b) Fixed and obscured glass to a minimum height of 1.7m above floor level; or
 - c) An awning window with obscured glass to a minimum height of 1.7m above floor level, with an opening restricted to no more than 150mm; or
 - d) Permanently fixed external screens that provide an effective screening height of 1.7m above the upper floor level and complement the external appearance of the dwelling.

The screening solution(s) shall be established prior to occupation of the dwellings and maintained to the reasonable satisfaction of Council at all times thereafter.

4. All balconies facing west shall be provided with screening that prevents views into neighbouring properties to a minimum height of 1.5m above the finished floor level of the balcony. The materials and finishes used on the screens shall complement those of the dwelling.
5. Air-conditioning units and solar hot water heaters shall be provided with screening devices designed to complement the colours, materials and finishes of the building approved herein, and shall be sited to adequately screen the units from view from neighbouring properties and public land (roadways) to the reasonable satisfaction of Council.
6. The Community Corporation shall ensure that the waste storage area is cleaned and maintained to the satisfaction of Council. General, recyclable and green organic wastes shall be co-mingled, with the Community Corporation maintaining responsibility for ensuring that bins are transported between the collection point and the storage area in a timely fashion to the satisfaction of Council.
7. Any difference in finished ground levels between the subject site and adjoining sites at the boundary shall be retained by an appropriate wall or plinth of masonry, concrete or similar construction. Retaining walls must be designed to accepted engineering standards and

will not be of timber construction if retaining a difference in ground levels exceeding 200 mm.

8. The landscaping shall be planted prior to occupancy of the development, and maintained at all times to the reasonable satisfaction of Council and to ensure appropriate lines of sight for vehicles and pedestrians. An automated drip irrigation or similar watering system shall be established and maintained to ensure that sufficient water is available to satisfy the needs of the landscaping species selected.
9. During construction of the development approved herein, measures will be implemented to ensure that the construction works do not result in an unreasonable impact on occupiers of adjacent properties or pollution of existing infrastructure through drag-out or stormwater runoff. Measures shall include as necessary:
 - a) A hard surface and controlled washing zone at the entry/exit points to the site, designed to reduce the potential for mud and material dragged out by construction vehicles; and
 - b) Containment of stormwater run-off within the site, which if being discharged into the stormwater system will be filtered to the satisfaction of Council; and
 - c) Reduction of the potential for dust and other airborne particles by the use of water sprinklers and/or other means of containment; and
 - d) The establishment of an appropriate storage compound for waste materials and litter. No building waste material shall be stored outside of the storage compound or similar industrial bin; and
 - e) All mechanical equipment shall be used in a manner to minimise the potential for noise pollution and ensure compliance with the requirements of the Environment Protection (Noise) Policy.
10. Footpaths adjacent to the site are to be kept in a safe condition for pedestrians at all times during construction works. All driveways and footpaths traversed by vehicles using the site are to be maintained in a reasonable condition for the duration of the works, and are to be reinstated to the satisfaction of Council on completion of the works.

All works on Council land shall be conducted to Council's specification, with all works to be bunted off safely and pedestrian safety to be maintained throughout the construction period. Plantings will also need to be undertaken in line with council specifications in terms of sight distance interference and safety to the community (thorns/poisonous plantings). Plans displaying all relevant details of the Road/Kerbing/Footpath Works shall be submitted to the Assets and Infrastructure Officer for approval prior to the commencement of any such works.

The following conditions have been imposed by the Department of Planning, Transport and Infrastructure in accordance with Section 37(7) of the Development Act 1993:

5. No structural element, service infrastructure (such as utility metres), or overhangs (including balconies) shall encroach within the road widening requirements identified in the Metropolitan Adelaide Road Widening Plan.

Subsequently, all of the above elements of the development shall be setback a minimum of 4.5 metres from the Regency Road property boundary and clear of a 4.5m x 4.5m cut-off across the regency Road / Airlie Avenue corner, measured from the 4.5 metre setback line.

6. Vehicular access to serve the site shall be via Airlie Avenue, located adjacent the southern property boundary. No vehicular access to/from Regency Road shall be permitted.

7. Bin collection shall be undertaken via Airlie Avenue only to avoid disruption to the free flow of traffic on Regency Road.
8. Stormwater run-off shall be collected on-site and discharged without jeopardising the integrity and safety of Regency Road. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.

Advisory Notes:

- (1) Pursuant to Section 86(1)(a) of the Development Act, 1993, you have the right of appeal to the Environment, Resources and Development Court against either 1) a refusal of consent or 2) any condition(s) which have been imposed on a consent. Any such appeal must be lodged with the Court within two (2) months from the day on which you receive this notification or such longer period as may be allowed by the Court.

The Environment, Resources and Development Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide SA 5000 (Postal Address: GPO Box 2465, Adelaide SA 5001).

- (2) The development plan consent granted herein is effective for a period of twelve (12) months from the date of the decision. Unless Council extends this period, building rules consent is required within this time or the consent will lapse.

Any request for an extension of the operative period of the consent must be submitted to Council in writing, accompanied by the applicable fee.

- (3) Further application pursuant to the Local Government Act shall be made to the Infrastructure Assets and Environment Department for the proposed crossover prior to construction activities occurring.

Road/Kerbing/Footpath Works will need to be inspected by an Assets and Infrastructure Officer to determine they have met all relevant requirements. All work including line marking will be the responsibility of the applicant as will the reinstatement of any damaged Infrastructure / Services related to these works. All works will be carried out at the cost to the applicant.

- (4) Prior to the commencement of construction of the development herein approved, it is strongly recommended that you employ the services of a licensed Land Surveyor to carry out an identification survey of the subject land and to peg the true boundaries, to ensure that building work will be either on the true boundaries or the specified distance from the true boundaries of the subject land, as the case may be.

Failure to correctly site the development on the land in accordance with the plans approved herein would constitute a breach of the *Development Act 1993*. Any amendments required to the approved plans as a result of the survey are to be submitted to Council for approval prior to works commencing.

- (5) You are encouraged to consult with adjoining property owners before commencing any work, to assist in minimising nuisance or inconvenience caused during construction.
- (6) You are required to give formal notification to, and consult with, the adjoining property owner if you are removing, replacing or altering an existing fence or building a freestanding wall along the common boundary that would, for all purposes, be a dividing fence (Section 5 of the *Fences Act 1975*).
- (7) During construction of the development approved herein, measures will be implemented to ensure that the construction works do not result in an unreasonable impact on

occupiers of adjacent properties or pollution of existing infrastructure through drag-out or stormwater runoff. Measures shall include as necessary:

- A hard surface and controlled washing zone at the entry/exit points to the site, designed to reduce the potential for mud and material dragged out by construction vehicles; and
 - Containment of stormwater run-off within the site, which if being discharged into the stormwater system will be filtered to the satisfaction of Council; and
 - Reduction of the potential for dust and other airborne particles by the use of water sprinklers and/or other means of containment; and
 - The establishment of an appropriate storage compound for waste materials and litter. No building waste material shall be stored outside of the storage compound or similar industrial bin; and
 - All mechanical equipment shall be used in a manner to minimise the potential for noise pollution and ensure compliance with the requirements of the Environment Protection (Noise) Policy.
- (8) To ensure compliance with applicable standards as described in the Environment Protection (Noise) Policy established under the Environment Protection Act, construction activities should only take place between the hours of 7:00am and 7:00pm, Monday to Saturday inclusive, and not on Sundays or public holidays.
- (9) The construction of the building shall be undertaken in accordance with the Ministers Specification SA78B – Construction requirements for the control of external sound. Compliance with the Minister’s Specification would be required as part of the Building Code of Australia (BCA).
- (10) National Broadband Network (NBN): The National Broadband Network is being rolled out across the City of Prospect. It is recommended that you consider your future connection to the optical fibre network prior to commencing works. Please visit www.nbnco.com.au for further details on how to get connected.
- (11) The Metropolitan Adelaide Road Widening Plan shows a possible requirement for a strip of land up to 4.5 metres in width from the Regency Road frontage of this site, together with a 4.5 x 4.5 metre cut-off at the Regency Road / Airlie Avenue corner, for future upgrading of the Regency Road / Prospect Road intersection. The consent of the Commissioner of Highways under the Metropolitan Adelaide Road Widening Plan Act is required to all building works on or within 6.0 metres of the possible requirement.

The Commissioner will not consent to any encroachment within the road widening requirements. Accordingly, all development must be clear of the above requirements. As the development encroaches in these areas, the required consent form shall be completed and forwarded to DPTI with three copies of the approved site plan for consent purposes.



14 July 2017

City of Prospect
Attention: Ms Susan Giles, *Development Officer - Planning*
128 Prospect Road
PROSPECT SA 5082

via email: susan.giles@prospect.sa.gov.au

Dear Susan

**AMENDED PLANS
419 REGENCY ROAD, PROSPECT
DA 050/335/2016**

1.0 INTRODUCTION

Further to the resolution of Council's Development Assessment Panel (DAP) of 5 June 2017 to defer the above matter, the applicant has taken steps to amend the proposed development to address the concerns raised and in our view further improve the merits of the proposal.

Ben Green & Associates has been requested to provide an overview of the changes made in an attempt to garner support and obtain a favourable decision of the DAP at the next available meeting.

In providing this correspondence, I can confirm that I have provided advice throughout the amendment process and have reviewed the proposed plans and accompanying documentation along with the most pertinent provisions of the Prospect Council Development Plan.

I provide my views and opinions on the amendments below.

2.0 REASONS FOR DEFERRAL

At its meeting of 15 June 2017, the DAP resolved to defer Development Application 050/335/2016 in order to enable the applicant to address the following matters:

- *The quality of landscaping along Airlie Avenue and along the southern boundary;*
- *Improve the amenity and bulk of the building along the southern elevation, particularly on the third level;*
- *Shortfall in visitor car parking spaces available on site;*
- *Privacy treatments to the southern elevation.*



3.0 AMENDMENTS

In considering the comments of the Panel, the applicant has made a series of amendments to address the key concerns and thereby satisfy the relevant provisions of the Prospect Council Development Plan.

This correspondence is to be considered in conjunction with the following enclosed documentation:

- Amended plans – prepared by iThink Design Studio, dated 26 June 2017
- Shadow Diagrams – prepared by Sustainability House, dated 30 June 2017

The following is a summary of the amendments made:

- Redesign of the overall roof form of the southern portion of the building.
- Reduction of the overall height of the southern portion of the building.
- Increased landscaping along the Airlie Avenue frontage.
- Improved landscaping and species selection for landscaping on southern and western boundaries of first floor level.
- Increased height and consistency of privacy screens to balconies and private open space on south and west elevations.
- Amended shadow diagrams following design revisions.
- Improved detail on shadow diagrams to illustrate building heights and topography.
- Greater focus on streetscape presentation and pedestrian amenity through revised landscaping plan.

The following sections identify the amendments undertaken and outlines a response to the comments made.

3.1 *The quality of landscaping along Airlie Avenue and along the southern boundary*

The landscaping plan has been amended to provide greater areas of landscaping on the Airlie Avenue frontage. The landscaped area adjacent to the Regency Road frontage has been extended to 'wrap around' the corner towards the main entrance of the building.

Species in this area include lower grass covers and feature '*pyrus calleryana chandicleer*' - Ornamental Pear trees which can mature to a height of up to 5.0 to 6.0 metres. This species has been selected as it will mature to soften the overall appearance and provide a contrast from the external surfaces of the building.

A landscaped planter box has been included on the eastern façade on the rear of the lift well, located between the pedestrian and vehicle access points to soften the appearance of the building when viewed from the street.

In addition, a landscaping strip is proposed on the southern boundary adjacent to the vehicle access ramp to improve the overall amenity of this space and Airlie Avenue and soften the hardstand appearance of the driveway. The mature height of the species



selected for this location is 1.0 metre to minimise disturbance on driver visibility when entering or exiting the site.

It is understood that the DAP were seeking additional landscaping of appropriate species along the southern boundary to improve the amenity and increase privacy for the occupants of the adjoining dwelling to the south. Additional perimeter landscaping has been increased on the first floor level along both the south and west boundaries. The nominated species is '*abelia grandiflora*' – Glossy Abelia which has a mature height of 1.8 to 2.0 metres. This species has been selected due to its dense foliage structure and screening abilities and will assist in providing adequate privacy for both the occupants of the proposed dwellings and the neighbouring dwelling.

3.2 *Improve the amenity and bulk of the building along the southern elevation, particularly on the third level*

As illustrated by the amended plans provided, the upper level and roof form has been amended to minimise height and overall bulk. The subject land is a corner site and has been designed to have a strong presence in close proximity to the corner, and the design is also respectful of adjoining two storey development to the south.

The Airlie Avenue façade has been redesigned to provide a transition in building height and mass away from the corner to the adjoining two storey dwelling. The proposal continues to comply with Concept Plan Fig UrC/4 of the Urban Corridor Zone which anticipates a minimum of 3 storey and a maximum of 4 storey development on the subject land. With the redesigned roof form for the southern portion of the development, the proposal will read as a 3.5 storey building from the streetscape given the partial undercroft nature of the car park.

An updated suite of shadow diagrams is enclosed based on the amended design. The updated diagrams take into consideration the two storey nature of the dwelling to the south and the solar PV array affixed to its northern and western sections of the roof.

The diagrams illustrate that the solar PV array on the adjoining will not be compromised as a result of the proposed development. Likewise, the diagrams illustrate an adequate amount of sunlight to areas of private open space in accordance with the relevant provisions of the Development Plan.

3.3 *Shortfall in visitor car parking spaces available on site*

Prior to the application being considered by the DAP the Applicant engaged Frank Siow & Associates (an experienced and qualified Traffic Engineer) to prepare a Traffic and Parking Assessment which was previously provided to Council.

The assessment considers the relative car parking requirements, the number of car parks available on/off site, the access and egress to/from the site; and the kerb side collection of refuse.

Based on the investigations undertaken, Mr Siow confirms that despite not providing the exact number of on-site spaces as suggested by the Development Plan, the proposal provides adequate parking and access.



With respect to visitor parking, based on the rate of 0.25 spaces per dwelling in the Development Plan, Mr Siow identified that the proposed development (11 apartments) would require 2 to 3 spaces.

By way of comparison, Mr Siow identified that the *NSW Guide to Traffic Generating Developments*, a visitor parking rate of 1 space per 5 units is recommended for medium density dwellings. Based on this rate, the proposed development would require 2 visitor parking spaces.

It is not uncommon to discount some parking having regard to proximity to public transport, and in providing his assessment Mr Siow notes a bus stop adjacent to the neighbouring property on Regency Road and bicycle routes nearby.

Mr Siow note that in his experience, it is also common to include on-street parking spaces abutting the development site when considering the overall parking availability for proposed development, and that this would be particularly relevant to short-term visitor parking for residential developments where, typically, visitor parking tends to occur on weekends and after hours on weekdays.

Mr Siow note that up to 2 on-street parks can be accommodated within the Airlie Avenue frontage of the development, and a further 2 on-street car parks could be accommodated on the Regency Road frontage of the development, where peak parking times for visitors are usually after hours on weekdays and on weekends when the bicycle lanes are not in operation.

Mr Siow confirms that the 4 on-street parking spaces abutting the development site frontages of Airlie Avenue and Regency Road would therefore be able to satisfactorily accommodate the visitor parking demand of the development (likely to be 2 spaces or less).

In order to substantiate the availability of the parks, Frank Siow & Associates conducted a number of inspections on various days of the week and at various times. On all occasions there were at least 3 parking spaces available on the street frontages adjacent to the subject land and it was also noted that additional vacant spaces were available on the opposite side of Airlie Avenue.

In summary, Frank Siow & Associates are of the opinion that, for this particular site, it would not be unreasonable for visitor parking to occur using the adjacent streets. Site inspections indicate that up to 4 on-street parking spaces would be available in both Airlie Avenue and Regency Road abutting the development frontages, which would exceed the likely peak visitor parking demands of the development of 2 spaces or less.

Moreover the subject land is situated at the interface with the Residential Zone where the competition for on-street car parking is considered to be less than if the subject land was situated within the centre of the Urban Corridor Zone.

From our discussions, I also understand that there may be an option for payment into Council's car parking fund to offset any deficiency should it be considered necessary.

During the preparation of his report, Mr Siow had discussions with Council Planning staff in relation to appropriate parking controls in Airlie Avenue to facilitate safe and convenient collection of waste refuse. It is also understood that from these discussions, it was



suggested that this particular issue could be dealt with as a Reserve Matter pursuant to Section 33(3) of the Development Act. Should Council Planners be willing to exercise its discretion in this manner (which from my discussions they are), my Applicant does not object to a Reserve Matter to this effect.

3.4 Privacy treatments to the southern elevation

Amendments have been made to both the south and west elevations to incorporate privacy screens to all balconies and areas of private open space to a minimum height of 1.7 metres above the respective finished floor levels.

Previously there was a combination of both 1.5 metre and 1.7 metre screens, however this has been amended to be consistent across the entire development. The development achieves the following provisions of the Prospect Council Development Plan.

Council Wide

Privacy

Visual privacy

- PDC 89 - Direct overlooking from upper level habitable room windows and external balconies, terraces and decks to habitable room windows and useable private open spaces of other dwellings should be minimised.**
- PDC 90 - Except for buildings of 3 or more storeys in the Urban Corridor Zone, the location of any windows, balconies or decks shall be such as to prevent overlooking to adjacent useable private open spaces or adjoining windows.**
- (a) Any window that directly overlooks the private open space or adjoining windows of any adjoining property:**
 - (i) Is to be glazed in fixed, opaque glass to a height of at least 1.7 metres, or have the window sill located a minimum of 1.7 metres above the floor; or**
 - (ii) Is to have external solid (screen(s) permanently fixed to the building, to achieve the same result.**
- PDC 91 - Permanently fixed external screening devices should be designed and coloured to blend with the predominant associated building materials.**



4.0 CONCLUSION

After careful consideration of the issues raised by the DAP, it is my view that the application is not 'seriously at variance' with the provision of the Development Plan.

Concept Plan Fig UrC/4 of the Urban Corridor Zone anticipates a minimum of 3 storey and a maximum of 4 storey development on the subject land. The proposed development has been designed to achieve the minimum and maximum height levels and has been designed to minimise impacts on adjoining development. Overall the built form outcome is considered to be generally anticipated and acceptable within the Zone.

Whilst the land to the south is currently occupied by a detached dwelling, it too is located within the Urban Corridor Zone - Transit Living Policy Area and identified within Concept Plan Fig UrC/4 as having the same minimum and maximum height limits. From this it is suggested that there should be a greater level of tolerance for higher density development by owners/occupiers of this land and others in locality.

The proposal has been designed with a height, scale, proportions, material/finishes, landscaping, car parking and waste disposal that is considered to be in-keeping with the intent of the Urban Corridor Zone and the Transit Living Policy Area.

As such, it is my opinion that the revised proposal warrants the issuing of Development Plan Consent.

Should you wish to discuss any matters herein, please do not hesitate contacting me on 0410 506 877.

Yours faithfully

Ben Green & Associates

Tom Gregory, CPP MPiA
tomgregory@bengreen.com.au

enc: Amended Plans / Shadow Diagrams
cc: Mr Tony Maiello tony@essentialbeauty.com.au
Mr Adam Cavuoto adam@ithinkdesignstudio.com.au

AIRLIE APARTMENTS



PRELIMINARY
DATED 29/08/16

REVISIONS			
DATE	REV	DESCRIPTION	BY
20/12/16	A	COUNCIL RFI	AC
09/03/17	B	DRIVE/LEVEL	AC
26/06/17	C	DAP FEEDBACK	AC



DESIGN OUTSIDE THE SQUARE
193 Prospect Road, Prospect SA, 5082
P. 08 7320 3945
M. +61 0403 537 500
E. adam@ithinkdesignstudio.com.au

PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT NAME:
NIATRON 10 PTY LTD

ADDRESS:
419 REGENCY ROAD

SUBURB:
PROSPECT

COUNCIL ZONE:
CITY OF PROSPECT

DATE: 28/04/15	SHEET NO: PA01 OF 13
PROJECT: 39.2016	TYPE: RESIDENTIAL

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- ALL DIMENSIONS AND LEVELS TO BE CONFIRMED PRIOR TO COMMENCING ANY WORK.
- FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS
- DISCREPANCY SHALL BE REPORTED TO ITHINK DS IMMEDIATELY.

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FOR PLANNING APPROVAL ONLY

GENERAL NOTES:

1) FIXTURE LOCATION SHOWN INDICATIVE ONLY. EXACT POSITION TO BE CONFIRMED ON SITE AND CO-ORDINATED WITH NOMINATED FIXTURE SPECIFICATIONS.

2) THIS PLAN TO BE READ AND CO-ORDINATED WITH THE ENGINEER'S FOOTING AND SLAB LAYOUTS. ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

PLEASE NOTE: ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THESE PLANS ARE INDICATIVE ONLY. REFER TO SELECTED JOINERY MANUFACTURER'S PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS AND CO-ORDINATE ACCORDINGLY.

- * REMOVABLE DOOR HINGES FITTED IN ACCORDANCE WITH S.A. HOUSING CODE APPENDIX D10.1
- SC. STEEL COLUMN. REFER TO ENGINEER'S DRAWINGS FOR SIZE
- P. SELECTED CISTERN
- B. SELECTED BIDET
- V. SELECTED VANITY BOWL
- OHC. OVERHEAD CUPBOARDS
- TR. SELECTED LAUNDRY TROUGH
- WM. WASHING MACHINE PROVISION
- UBO. UNDER BENCH OVEN
- DWP. DISHWASHER PROVISION
- FR/FZ. FRIDGE/FREEZER
- RHO. SELECTED RANGEHOOD OVER

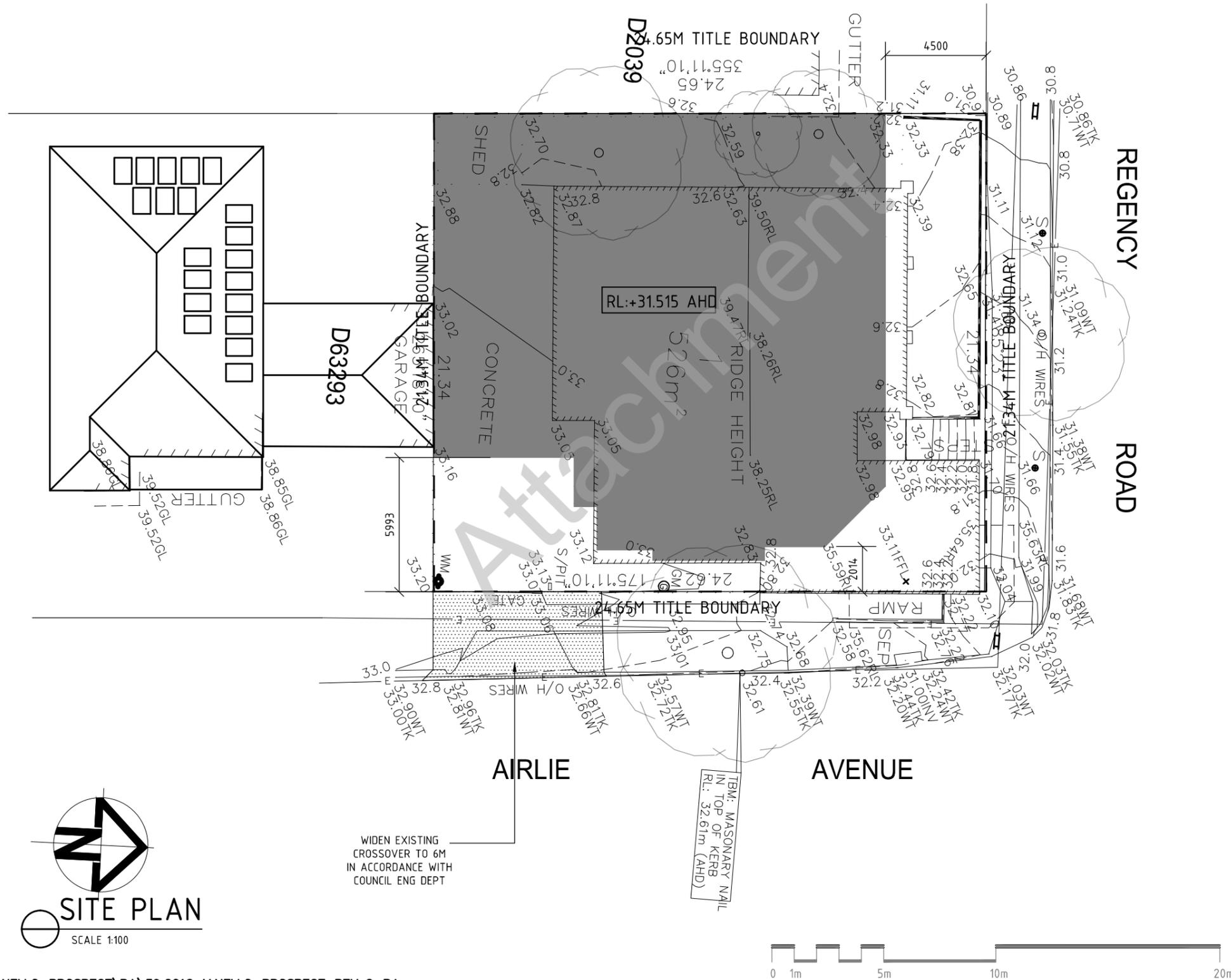
CONSTRUCTION MATERIALS

- PRECAST CONCRETE
- COMMERCIAL ALUMINIUM WINDOWS & DOORS THROUGHOUT
- JAMES HARDIE EXOTEC CLADDING
- COLORBOND CUSTOM ORB DECKING @ 5°
- MODWOOD COMPOSITE CLADDING WHERE SHOWN

RAIN WATER TANK

THE REQUIRED RAINWATER TANK (MIN 1000 LITRES) COLLECTING A MINIMUM OF 50 M2 OF ROOF CATCHMENT AREA AND PLUMBED TO A WATER CLOSET, WATER HEATER OR LAUNDRY COLD WATER OUTLETS. THE TANK MUST ALSO BE FITTED WITH MOSQUITO PROOF, NON DE-GRADABLE SCREENS, FORMED FORM NOT LESS THAN .315MM DIAMETER MATERIAL AND HAVE A MINIMUM OF 6 X 7 OPENINGS PER CM2. IN THE EVENT THAT THE TANK IS TO BE SUPPORTED ON A STAND THE STAND SHALL BE DESIGNED TO BE ABLE TO ACCOMMODATE THE IMPOSED DEAD LOADS, WIND LOADS AND WHERE APPLICABLE THE EARTHQUAKE LOADS AS REQUIRED BY CLAUSE 3.11.2 OF THE NCC (APPLICABLE AS OF JULY 1ST 2006 NCC-SA 2.1)

NO.419



PRELIMINARY
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COUNCIL ZONE:
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INDICATIVE LANDSCAPING SCHEDULE

TREES	COMMON NAMES	HEIGHT
PYRUS CALLERYANA 'CHANDICLEER'	ORNAMENTAL PEAR	5.0 - 6.0m
SHRUBS		
CROWEA EXCELATA	PINK CROWEA	1.0m
ABELIA GRANDIFLORA	GLOSSY ABELIA	1.8 - 2.0m
CHOISYA TERNATA	MEXICAN ORANGE BLOSSOM	0.8 - 1.0m
BUXUS JAPONICA	JAPANESE BOXED HEDGE	0.4 - 1.5m
STRAP LEAF PLANTS		
PHORMIUM RUBRA	DWARF PURPLE NZ FLAZ	0.5 - 0.8m
DIANELLA TASMANICA	FLAX LILYDIANELLA TASMANICA	0.5 - 0.8m
LIRIOPE MUSCARI	MAUVE LIRIOPE	
GROUND COVERS AND GRASSES		
SCAEVOLA 'MAUVE'	MAUVE FAN FLOWER	
VIOLA HEDERACEA	NATIVE VIOLET	
LIRIOPE MUSCARI	STAR JASMINE	

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-  - ARTIFICIAL GRASS AREA
-  - INDICATIVE PAVED AREA
-  - JEFFERIES MULCHED AREA

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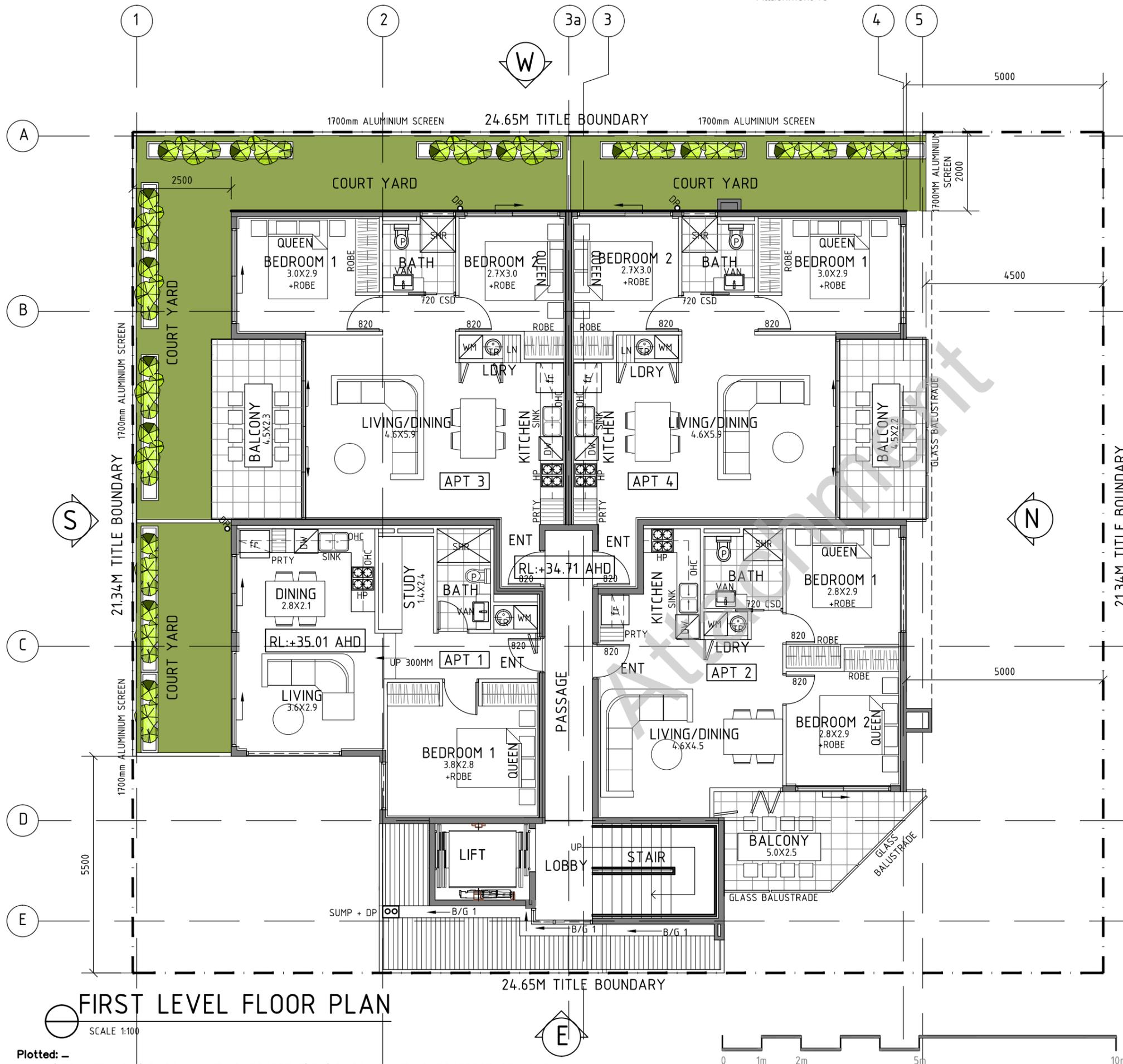
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GROUND FLOOR PLAN

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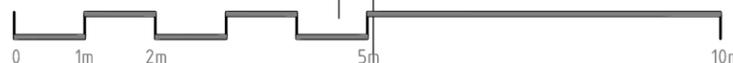
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FIRST LEVEL FLOOR PLAN

SCALE 1:100

Plotted: -
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AREAS:	
GROUND LEVEL	
CARPARK	345.0
LIFT /LOBBY /STAIR	18.00
SUB TOTAL (M2)	363.0
FIRST LEVEL	
APARTMENT 1	52.43
APARTMENT 1 YARD	15.00
APARTMENT 2	64.5
APARTMENT 3	71.6
APARTMENT 3 YARD	39.3
APARTMENT 4	72.1
APARTMENT 4 YARD	17.1
LIFT /LOBBY /STAIR	27.1
SUB TOTAL(M2)	359.13
SECOND LEVEL	
APARTMENT 5	68.2
APARTMENT 6	64.5
APARTMENT 7	71.6
APARTMENT 8	72.1
LIFT /LOBBY /STAIR	27.1
SUB TOTAL(M2)	303.5
THIRD LEVEL	
APARTMENT 9	87.4
APARTMENT 10	64.5
APARTMENT 11	86.7
LIFT /LOBBY /STAIR	27.1
SUB TOTAL(M2)	265.7
TOTAL	1291.33 SQ.M.
BLOCK:	526.03 SQ.M.

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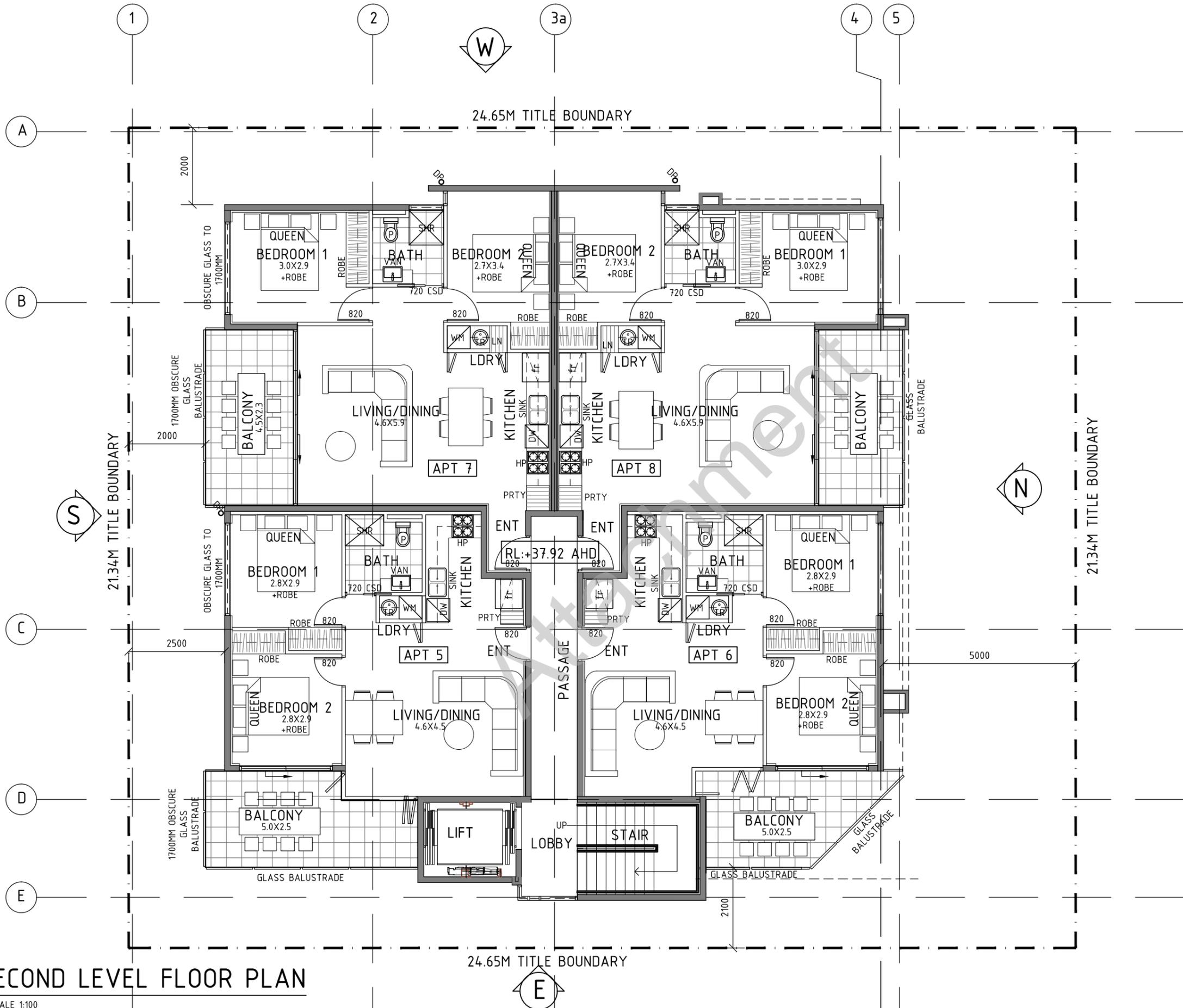
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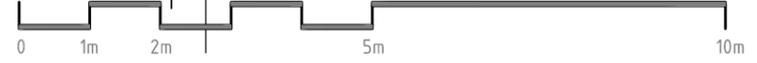
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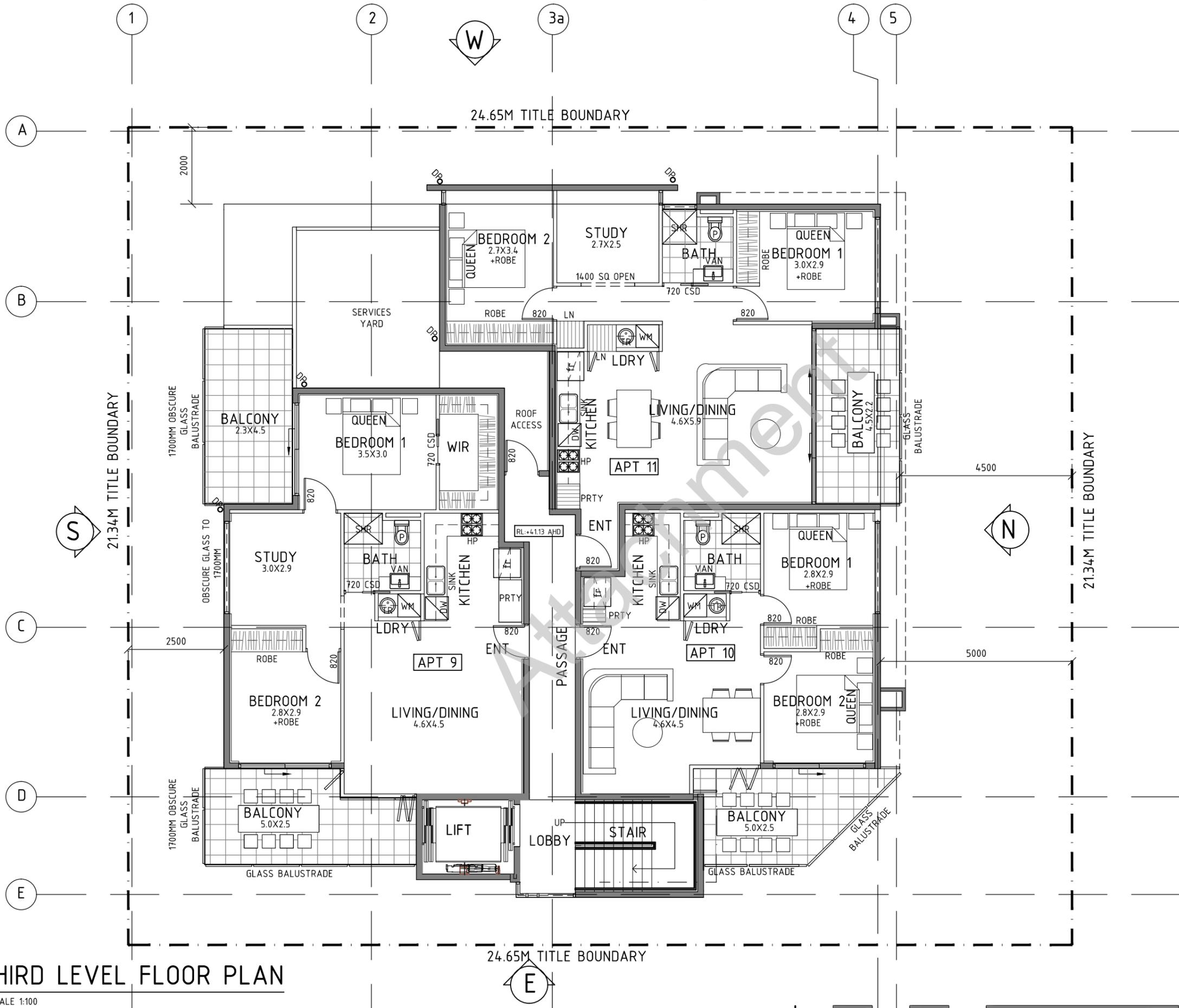
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SECOND LEVEL FLOOR PLAN

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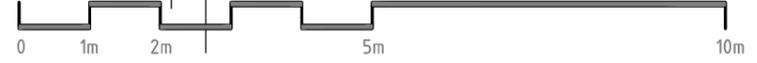
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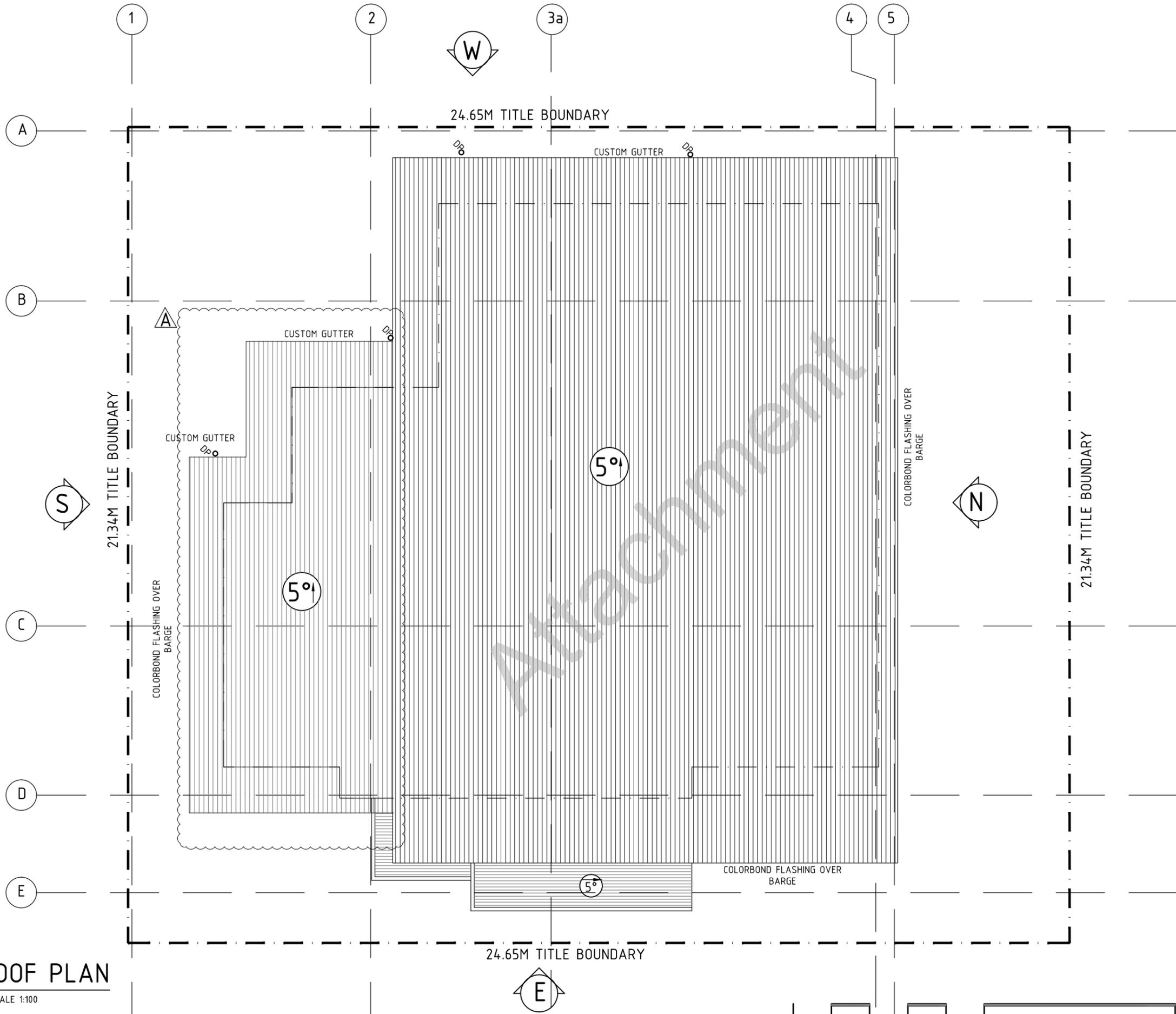
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THIRD LEVEL FLOOR PLAN

SCALE 1:100

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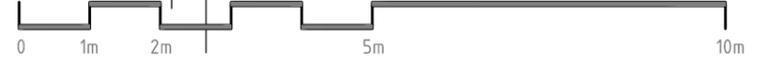
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ROOF PLAN
SCALE 1:100



MATERIAL SELECTION:		
ITEM:	TYPE:	COLOUR:
GUTTERS	CUSTOM FOLD	MONUMENT
RAINHEAD	COLORBOND	MONUMENT
ROOF SHEET	COLORBOND - TRIMDEK	SURFMIST
WALL FINISH	PRECAST - PAINTED	SURF MIST
WINDOWS	POWDERCOATED ALUMINIUM	NIGHT SKY
DOORS	POWDERCOATED ALUMINIUM	NIGHT SKY
DOWNPIPES	PAINTED PVC	MONUMENT
PAVING	EXPOSED AGGREGATE - WASHED	CARBON
FENCING	LOUVER TEC	NATURAL ANNO
CLADDING 1	MODWOOD TIMBER	SAHARA SMOOTH
CLADDING 2	JAMES HARDIE - EXO TEC - PAINT FIN	SHALE GREY
CLADDING 3	JAMES HARDIE - EXO TEC - PAINT FIN	WALLABY
CLADDING 4	MAXLINE 340 WALL CLADDING	MONUMENT

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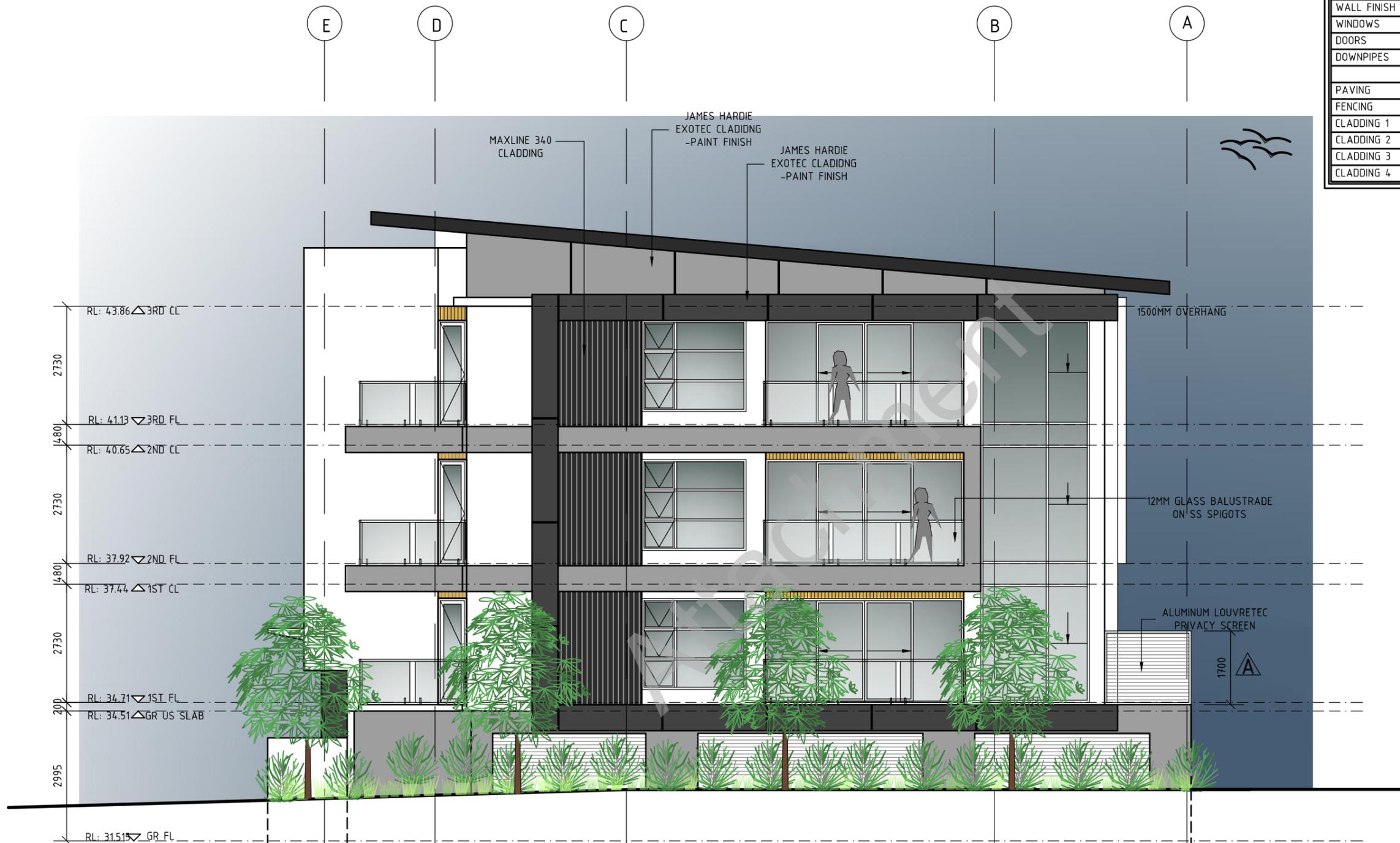
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NORTH ELEVATION
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MATERIAL SELECTION:		
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RAINHEAD	COLORBOND	MONUMENT
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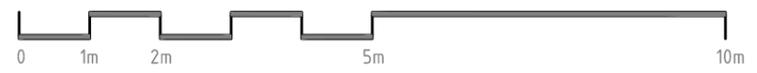
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RAINHEAD	COLORBOND	MONUMENT
ROOF SHEET	COLORBOND - TRIMDEK	SURFMIST
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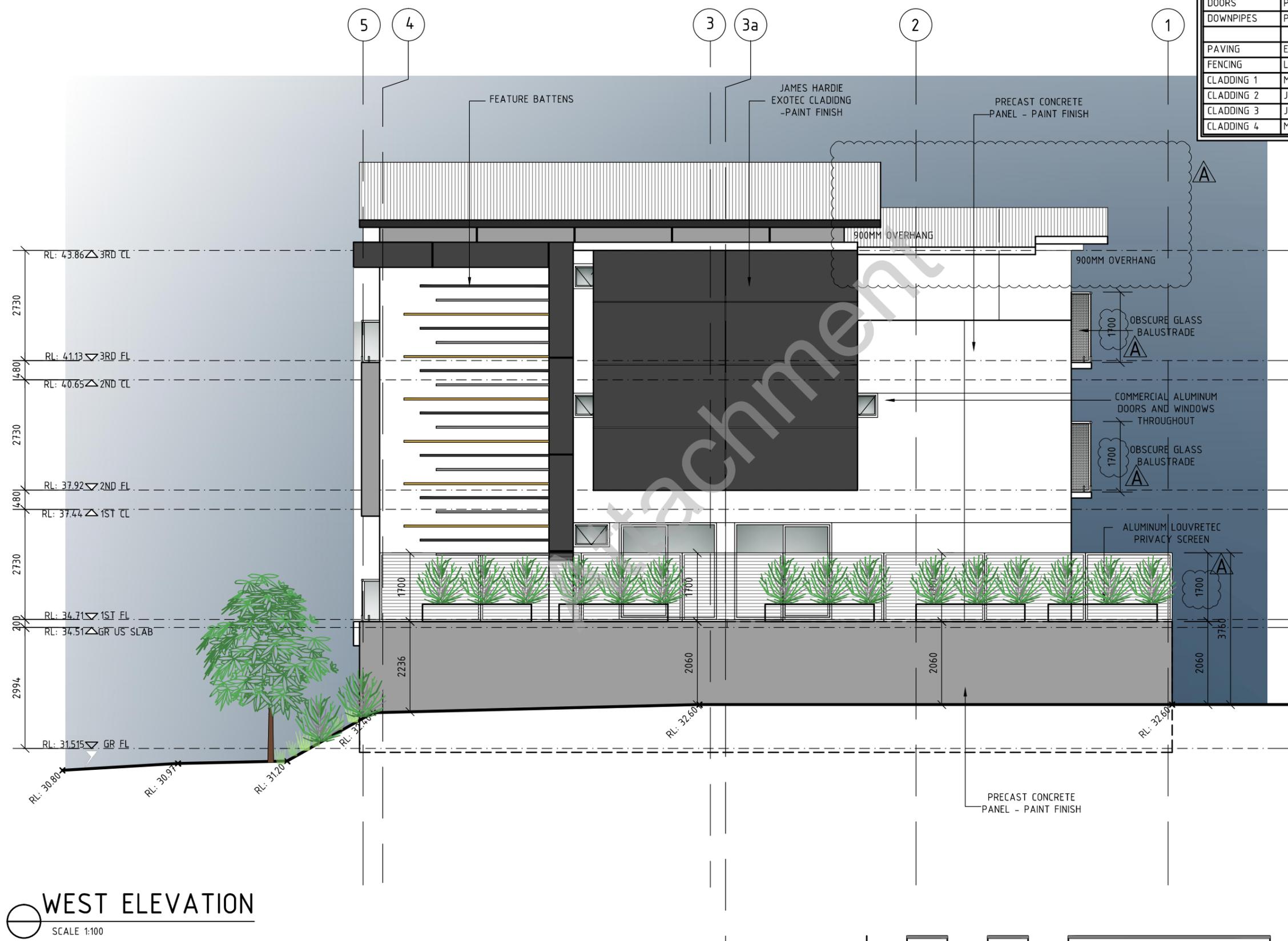
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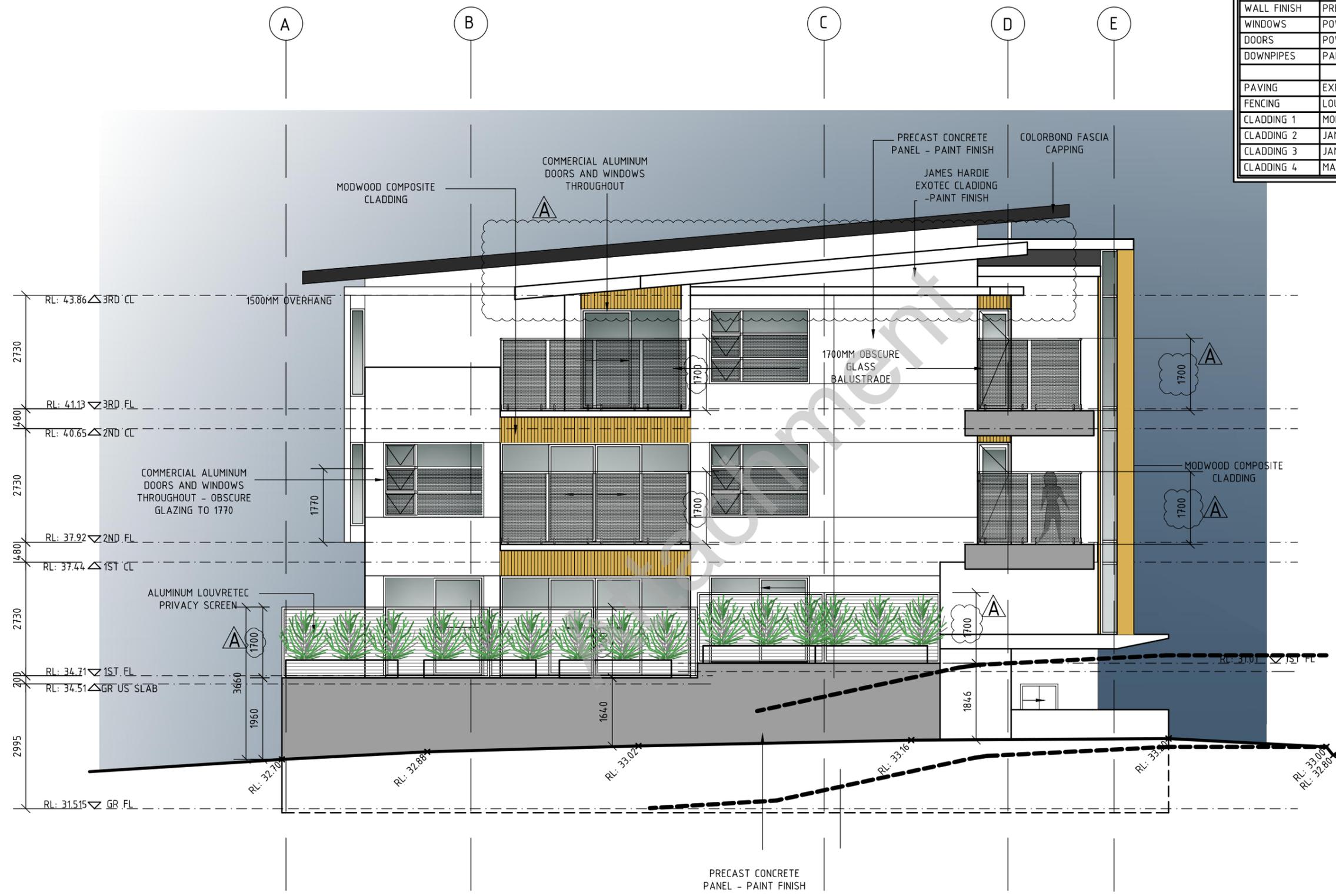
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SOUTH ELEVATION

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PERSPECTIVE VIEWS
SCALE N.T.S



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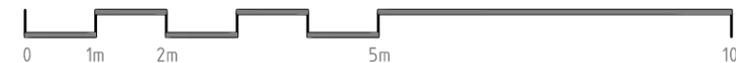
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Shading Diagram

Site Plan View: Winter Solstice, 9am, 12pm, 3pm

Reference: SH87687

Date: 30 June 2017

Assessment of:

Residential Development

Drawing: PA 28/04/2015

419 Regency Road, Prospect SA 5082

Report commissioned by:

Adam Cavuoto

On behalf of:

AA MAIELLO

Prepared by:

Rosa Yousefi

Matthew McCallum

Attachment

Summary

We have evaluated June 21st at the proposed site; 419 Regency Road, Prospect SA 5082

Attached are scale drawings (1:200) showing the extent of shadows cast on the neighbouring buildings:

June 21:	9:00 am	(Drawing A101)
June 21:	12:00 pm	(Drawing A102)
June 21:	3:00 pm	(Drawing A103)

Note that the final shading images have been prepared using the information supplied by the client at the time of preparing this report. No additional information regarding the site conditions, slope or adjacent buildings, other than what is included in the attached drawings, has been used.

Attachment

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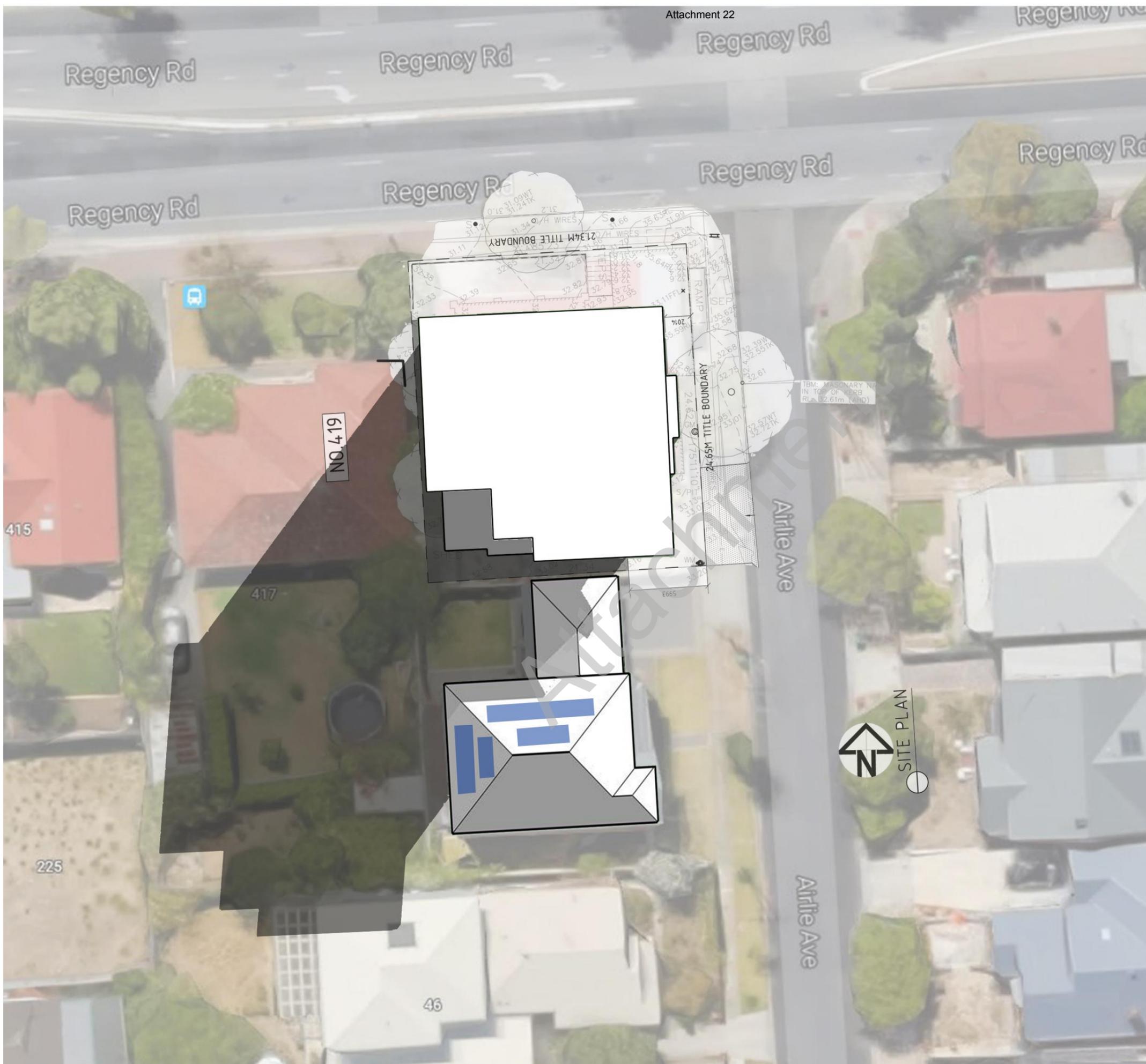
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No.	Description	Date

PROJECT TITLE
419 Regency Road

Client Reference Number 39.2016
Job Number 87687

CLIENT NAME
AA MAIELLO
ADDRESS
419 Regency Road
Prospect, SA 5082

WINTER SOLSTICE (21 June)
09:00AM

DRAWING NO.
A101

Revision NO. 1

DATE 30/06/2017

DRAWN BY RY

CHECKED BY MM

SCALE

SHEET SIZE

Phone : 1300 308 525
www.sustainabilityhouse.com.au
research@sustainabilityhouse.com.au



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No.	Description	Date

PROJECT TITLE
419 Regency Road

Client Reference Number 39.2016
Job Number 87687

CLIENT NAME
AA MAIELLO
ADDRESS
419 Regency Road
Prospect, SA 5082

WINTER SOLSTICE (21 June)
12:00PM

DRAWING NO.
A102

Revision NO. 1

DATE 30/06/2017

DRAWN BY RY

CHECKED BY MM

SCALE

SHEET SIZE

Phone : 1300 308 525
www.sustainabilityhouse.com.au
research@sustainabilityhouse.com.au



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No.	Description	Date

PROJECT TITLE
419 Regency Road

Client Reference Number 39.2016
Job Number 87687

CLIENT NAME
AA MAIELLO

ADDRESS
419 Regency Road
Prospect, SA 5082

WINTER SOLSTICE (21 June)
03:00PM

DRAWING NO.
A103

Revision NO. 1

DATE 30/06/2017

DRAWN BY RY

CHECKED BY MM

SCALE

SHEET SIZE

Phone : 1300 308 525
www.sustainabilityhouse.com.au
research@sustainabilityhouse.com.au